

**TOWN OF SILT  
PLANNING AND ZONING COMMISSION AGENDA  
TUESDAY, SEPTEMBER 5, 2023 6:30 P.M.  
MUNICIPAL COUNCIL CHAMBERS  
HYBRID MEETING**

<b>ESTIMATED TIME</b>	<b>ELECTRONIC AGENDA ITEM</b>	<b>PUBLIC HEARING/ ACTION</b>	<b>ELECTRONIC LOCATION AND PRESENTOR</b>
	<b>Agenda</b>		<b>Tab A</b>
<b>6:30 5 min</b>	<b>Call to Order</b>		<b>Chair Williams</b>
	<b>Roll Call</b>		
	<b>Pledge of Allegiance</b>		
<b>6:35 5 min</b>	<b>Public Comments - Each speaker will limit comments to no more than three (3) minutes, with a total time of 30 minutes allotted to public comments, pursuant to Section 2.28.020 of the Silt Municipal Code</b>		
<b>6:40 5 min</b>	<b>Consent agenda –</b>  1. Minutes of the August 1, 2023 Planning & Zoning Commission meeting	<b>Action Item</b>	<b>Tab B Chair Williams</b>
	<b>Conflicts of Interest</b>		
	<b>Agenda Changes</b>		
<b>6:45 15 min</b>	<b>JSN Properties– Site Plan Review Lot 158 – Silt Trade Center 1861 Silver Spur</b>	<b>Public Notice/Action</b>	<b>Tab C Manager Centeno</b>
<b>7:00 15 min</b>	<b>JSN Properties– Site Plan Review Lot 157 – Silt Trade Center 1845 Silver Spur</b>	<b>Public Notice/Action</b>	<b>Tab D Manger Centeno</b>
<b>7:15 25 min</b>	<b>Rich Lynch – All In Brewing / Brew Zone – Site Plan Review</b>	<b>Public Notice/Action</b>	<b>Tab E Manager Centeno</b>
<b>7:40 20 min</b>	<b>396 Tobiano Lane – Gonzalez-Mendoza Residence – Roof Pitch Variance</b>	<b>Public Notice/Action</b>	<b>Tab F Manager Centeno</b>
<b>8:00 15 min</b>	<b>Planners Report</b>	<b>Info item</b>	<b>Verbal Manager Centeno</b>
<b>8:15 5 min</b>	<b>Commissioner Comments</b>		
	<b>Adjournment</b>		

The next regularly scheduled meeting of the Silt Planning & Zoning Commission is tentatively set for Tuesday, October 3<sup>rd</sup> 2023, at 6:30 p.m. Items on the agenda are approximate and intended as a guide for the Planning and Zoning Commission. “Estimated Time” is subject to change, as is the order of the agenda. For deadlines and information required to schedule an item on the agenda, please contact the Town of Silt at 876-2353. Please be aware that this agenda is given to the public and to the Commission in electronic form. If you require a hard-copy, please request one before or after the scheduled meeting. Normal Town copying charges may apply. Thank you.

**TOWN OF SILT**  
**REGULAR PLANNING AND ZONING COMMISSION MEETING**  
**August 1, 2023 – 6:30 P.M.**  
**HYBRID MEETING**

The Silt Planning and Zoning Commission held their regularly scheduled meeting on Tuesday, August 1st, 2023. Chair Williams called the meeting to order at 6:30 PM.

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<b>Roll call</b>	Present	Chair Lindsey Williams Vice-Chair Joelle Dorsey Commissioner Robert Doty Commissioner Michael Bertaux Commissioner Eddie Aragon
	Absent	Commissioner Charlienna Chancey Commissioner Jennifer Stepisnik

Also present were Town Planner Mark Chain, Community Development Manager Nicole Centeno and Public Works Director Trey Fonner.

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**Pledge of Allegiance**

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**Public Comments** – There were no public comments.

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**Consent Agenda**

1. Minutes of the July 5, 2023 Planning & Zoning Commission meeting.

**Commissioner Bertaux made a motion to approve the consent agenda as presented. Vice Chair Dorsey seconded the motion; the motion carried unanimously.**

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**Conflicts of Interest** – There were no conflicts of interest.

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**Agenda Changes** – There were no agenda changes.

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**Discussion with Public Works Director**

Community Development Manager Centeno introduced this agenda item and the Public Works Director. There was an informal discussion and dialogue with Director Trey Fonner. The following items were discussed:

Main Street Project- Trey indicated that this project was almost complete. They are getting ready to receive and install the trees and electric.

Eagle's Nest Court- Trey indicated that this will probably take until about August 21 to complete.

Horse shoe pits- Trey indicated that is a be ready for Heyday.

Grants- Trey that the town received a \$750,000 DOLA grant that will be used to bore a new waterline under the railroad and interstate. He also indicated that the town is in line for a \$900,000 TAP (Transportation Alternative Program) grant, from CDOT, that will take the pedestrian bridge design to 100% design.

Speed and traffic study- Trey gave some details on this item and that Town Staff was working on traffic studies.

Commissioner Doty inquired about work on the off ramps. CDOT is working on this when they have the time available. Repaving is being done as part of the concrete replacement project. In September the milling machine will be available and they will be milling the bridge itself and some new asphalt will be laid down. The Town may need to lend a hand, as CDOT is short-handed.

Wastewater plant design issues were discussed briefly. Trey will work with Sen. Perry and hopefully the town will be able to obtain some additional funding as well as perhaps a time extension for making improvements/providing a new wastewater plant. He told the Planning Commission that if the Town had processed proper paperwork, they could have received a waiver for the present time deadline but this paperwork had to be filed in 2017. Trey told the Commissioners that the wastewater plant capacity is not quite at 50% but present equipment won't be able to bring wastewater affluent to meet the new regulations.

Commissioner Bertaux asked about the south side of Main Street. Trey said that years ago the new sidewalk was extended up just past 6<sup>th</sup> Street and now the Town has a contractor finishing the sidewalk past Whimsical Wagon. Chair Williams said that the town did a good job at Eagles Park. There was brief discussion about the skateboard park.

Vice-Chair Dorsey had a question about 9th Street. Trey said that that was a different patch. There is cosmetic work being done on the west side of 7 Street coming down from the cemetery.

There was then some more discussion about some road repair projects and specifications.

Commissioner Doty asked about some speed control projects. There was discussion about having speed bumps versus speed tables versus signage.

Finally, there was some discussion on a barrier that has been placed between Eagles View and Stoney Ridge.

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## **Planning Update**

Planner Chain updated the Planning Commission on the following items:

Consolidation of lots 157 and 158 – Silt Trade Center. Chain said that obviously this matter was not on this month's planning commission docket. He noted that the owner said that obtaining the full allotment of housing units is a priority so they have decided against Lot consolidation. They

would be coming in front of the planning commission in September for a site plan review with each lot being separate applications.

River Run- Chain noted that he and the Community Development Manager were working with the owners to resolve some issues. He said that the Commission would probably be seeing a new application of the River Run storage units in the near future.

Brew Zone- Manager Centeno indicated that Rich Lynch wanted to move his operation back to Silt, hoping this time that he will get to open his doors here. His application should be on the September meeting and he is looking to do a food truck as well as the brewery.

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### **Commissioner Terms**

Manager Centeno noted that three seats were expiring in July. They were Chair Williams, Vice Chair Dorsey and Commissioner Bertaux. The commissioners needed to decide whether they wanted to continue on and if so they can file a new application. Vice Chair Dorsey indicated she would not be reapplying.

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### **Commissioner comment.**

Vice Chair Dorsey asked how the Farmers Market was functioning. Centeno noted that it is continuing to grow.

Commissioner Doty indicated that he really enjoyed the vegetables at the farmers market and that he found the vendors to be quite interesting. There was a question about the permit on the Jumbo Storage project. Chain gave the Commission a quick update on the status of Autumn Ridge.

It was noted that the fill being deposited on Tract 4 of Rislende may not be appropriate as structural fill.

### **Adjournment**

Commissioner Bertaux made a motion to adjourn. Second by Commissioner Doty. Meeting adjourned at 7:24 PM.

Respectfully submitted,

Approved by the Planning Commission

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Mark Chain  
Planner

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Lindsey Williams  
Chair



**Town of Silt Planning Commission Meeting**

**September 5, 2023 6:30 PM**

**Lot 158 Silt Trade Center – Site Plan Review**

**Planner's report**

**8/25/2023**

<b>Name of Project</b>	Lot 158 Silt Trade Center - Site Plan Review
<b>Applicant/Owner</b>	JSN Properties PO Box 1258 Gypsum, CO 81637 970.390.5301
<b>Owner Representative/ Land Planner</b>	Jeff Johnson, Architect
<b>Civil Engineer</b>	None Designated
<b>Project Attorney</b>	None Designated
<b>Architect</b>	Jeff Johnson Architectural PC 136 East 3 <sup>rd</sup> Street Rifle, CO 816 50 970.625.0580
<b>Water Engineer</b>	NA
<b>Property Location</b>	1861 Silver Spur
<b>Existing Zoning</b>	PUD – B-2 with B-1 Architectural, Site Planning and Landscaping Criteria
<b>Surrounding Land Uses</b>	<b>West</b> – Vacant and light Industrial <b>North</b> – Vacant and Light Industrial <b>South</b> – Light Industrial <b>East</b> – Commercial (Post Office)
<b>Surrounding Zoning</b>	PUD – B1 and B2
<b>Proposed Use</b>	1 <sup>st</sup> floor – 2,000 SF warehouse/Light Industrial 2 <sup>nd</sup> Floor – 2 residential Apts. - 975 SF each
<b>Area of Parcel Subject to application</b>	7,333 SF
<b>Existing Use</b>	Vacant –
<b>Silt Comprehensive Plan</b>	Service and Commercial Support
<b>Parcel Numbers</b>	2179-112-01-157
<b>Legal Description</b>	Lots 158 of the Amended Plat of Lots 83,95,125,129,130,152 – 158 of the Amended Final Plat of the Lyons Subdivision PUD. - according to the plat recorded as Reception # 775409

### ***I. Description of Request***

Applicant is proposing to build a 2000 square-foot service business essentially designed as warehouse/industrial space along with two apartments on the upper level. Each apartment is approximately 975 ft.<sup>2</sup>. Each of the apartments are 2-bedroom units. The property is located on Silver Spur in the Silt Trade Center. The property is currently vacant. It is proposed to be designed and built in coordination with the adjacent lot to the west – Lot 157 in the Silver Trade Center. Please note that the building has two garage bays which will access off of Silver Spur. The design also features a common driveway/access between Lots 157 and 158; so they will be sharing an access easement built along the boundary between the two properties. Approval assumes that a parking/access/maintenance easement will be recorded where use and obligations are enumerated anticipating that these lots will eventually be sold separately in the future.

### ***II. Recent Project History***

This property was subject to the discussion at the July Planning Commission meeting. At that time, the owner's representative appeared and we discussed the possible consolidation of the two lots. After discussion and conferral with the property owner, direction was given that preserving the right to build a total of 4 residential units was a top priority and therefore the consolidation is not going forward. Each of these lots are coming forward for a Site Plan Review at the same meeting. The buildings are basically mirror images of each other.

Most of you are aware of the history of the Silt Trade Center and we went into some depth at the July meeting with a memo, information from past staff reports and the current PUD zoning ordinance for this portion of the Trade Center.

### ***III. Silt Comprehensive Plan***

I am not providing an analysis of how this development relates to the Comprehensive Plan. This area has been platted for over 20 years and an analysis of how it complies with the Comprehensive Plan is unnecessary.

### ***IV. Property***

The property is located in the western portion of the Silt Trade Center and is located at the southwest corner of the intersection of Silver Spur and Lyon Boulevard. Access will be from Silver Spur. The property is 7333 ft.<sup>2</sup>. Utilities are of course available to the property and water wastewater services should have been stubbed out with initial provision of infrastructure.

The property is relatively flat and my research indicates that there was no previous construction on the site. As noted earlier, access to the Garage Bays is from Silver Spur as well as the joint parking/access easement proposed. Please see location and site plan attached.

General Notes:

The purpose of these drawings is to graphically depict the general nature of the work to be performed. The Contractor shall confirm dimensions and select fabrication processes and techniques prior to construction.

All construction and materials shall be in accordance with all applicable codes, ordinances, laws, permits, and contract documents.

The contractor shall be responsible for the accurate placement of all new construction.

The contractor shall confine his or her operations on the worksite to those areas previously agreed on with the owner.

All materials stored on site shall be properly stacked and protected to prevent damage and deterioration. Failure to protect material may be cause for rejection of work.

The Contractor shall review locations of light fixtures and other recessed ceiling and wall elements prior to framing for proper placement of these items.

The contractor shall verify all field dimensions and conditions, and shall notify the architect of any variations from those items shown herein.

The jobsite shall be maintained in a clean, ordered condition, free of debris and litter. The jobsite shall not be unreasonably encumbered with any materials or equipment. Each subcontractor, immediately upon completing each phase of his or her work, shall remove all trash and debris as a result of his or her operation.

The contractor shall do all cutting, fitting or patching of his or her work that may be required to make its several parts to fit together properly. The contractor shall not endanger any other work by cutting, excavating, or otherwise altering the total work or any other part of it. All patching, repairing and replacing of materials and surfaces cut or damaged in execution of work shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces.

Mechanical subcontractor shall be responsible for designing and installing a code compliant heating and ventilation system. Plumbing subcontractor shall be responsible designing and installing a code compliant water, drain lines, and proper venting. Electrical subcontractor shall be responsible for designing and installing a code compliant electrical system.

The Contractor shall provide all necessary blocking, backing, and framing for bathroom accessories, handrails, guardrails, electrical fixtures, mechanical equipment, recessed items, and any other items, as required.

Refer to truss manufacturer's submittal for truss package details. Truss manufacturer to provide pre-engineered roof trusses and floor joists to provide compliance with Structural Engineer and IRC conventional construction provisions under the following min. loading characteristics:  
40 PSF Roof Snow Load, per truss manufacturer  
40 PSF Floor Live Load  
60 PSF Balcony Load, if applicable

The Contractor shall be responsible for arranging all necessary inspections required by Town of Silt prior to covering any such portions of work.

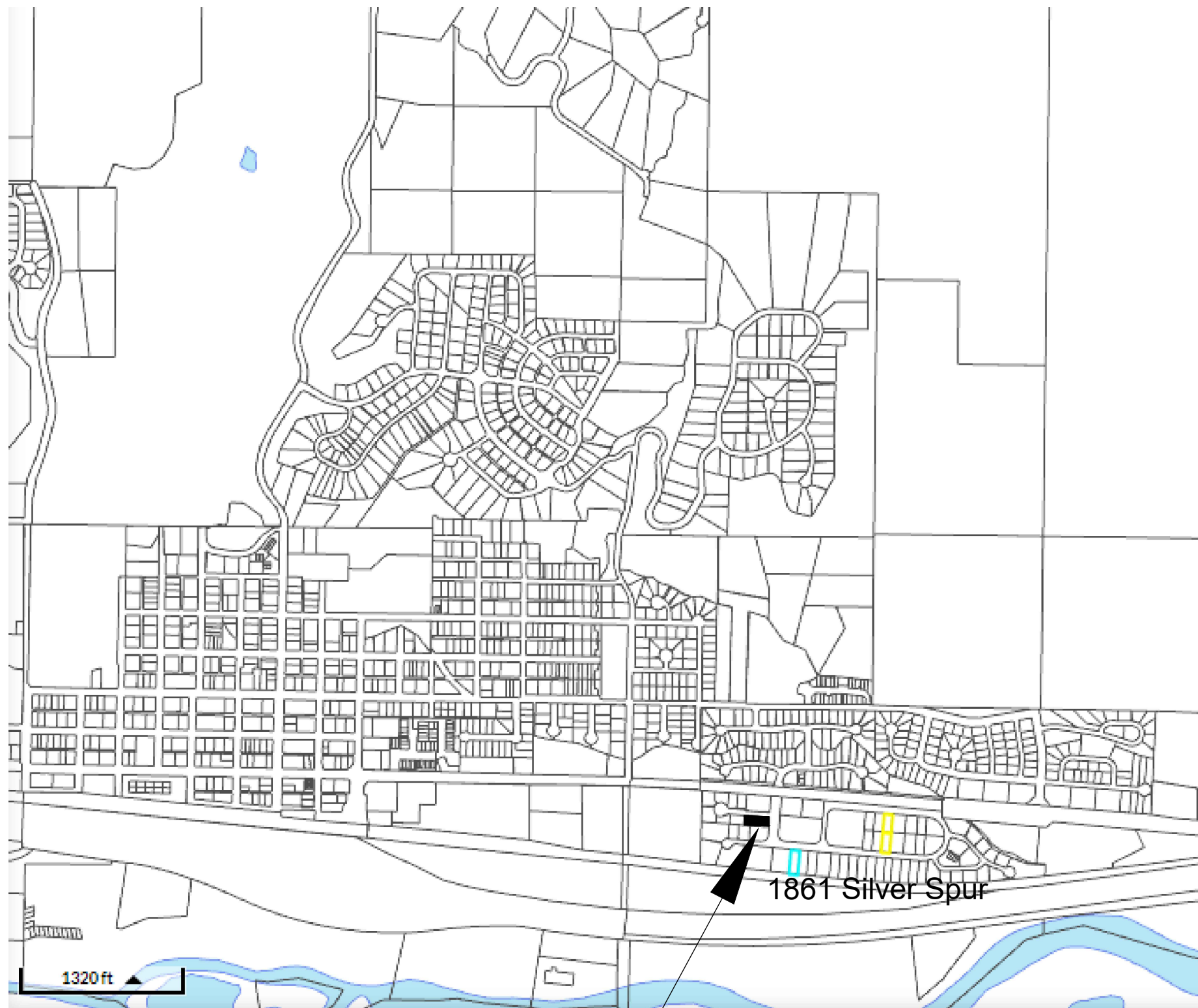
Energy Compliance: (all values are minimum requirements)  
Ceilings and Ceilings w/ raised trusses: R-40  
Walls Above Grade: R-20  
Walls Below Grade: R-11  
Floor over unheated spaces: R-11  
Slab Edge, 36" insulated: R-10  
Glazing Requirement: Double Glazing  
HVAC Ducts: R-8

Air Leakage:  
Exterior joints around windows and door frames, openings between walls and foundations and between walls and roof/ceilings and between wall panels, openings at penetrations of utility services through walls, floor and roofs and all other similar types of openings in the building envelope shall be caulked, gasketed, weather stripped, or otherwise sealed to prevent in a manner approved by the Building Official.

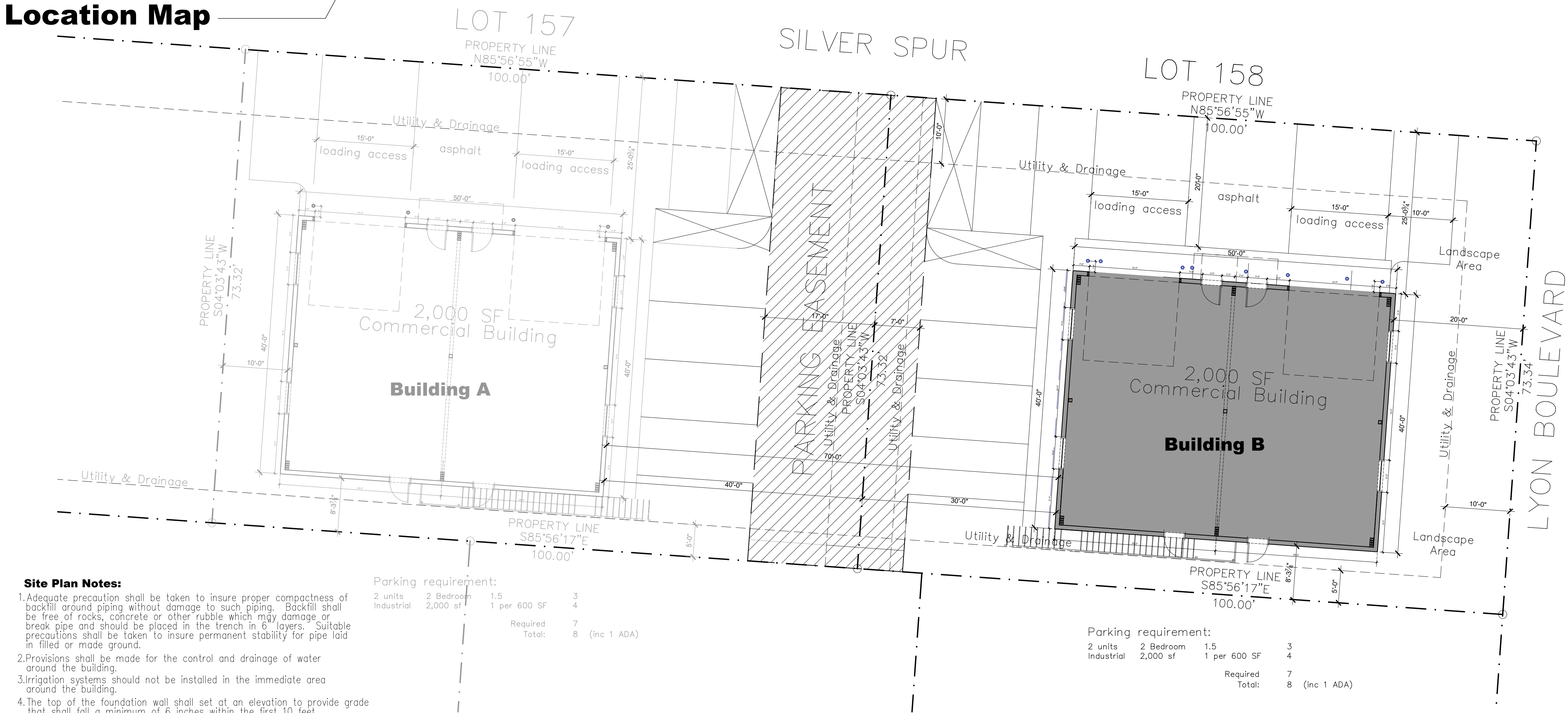
Vapor Retarder:  
Vapor retarders shall be installed in all non-vented framed ceilings and rafter spaces

Code references:  
2015 International Building Code  
2009 International Energy Conservation Code

All drawings, plans, and specifications are instruments of service provided by Jeff Johnson Architectural P.C. and remain the property of the Architect. These instruments of service may not be reused without written consent by Jeff Johnson Architectural P.C.



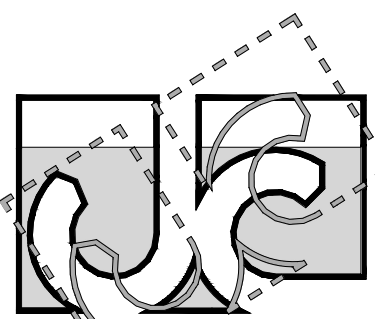
Location Map



Site Plan, Lot 158  
1861 Silver Spur  
Building B

Address 1861 SILVER SPUR  
Parcel No. 217911201157  
Account No. R006257  
Lot Size: 7,333 SF

scale: 1" = 10'-0"



Jeff Johnson  
Architectural PC

136 East Third Street  
Rifle, CO 81650  
970-625-0580  
jeff@jjarchitectural.com  
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JSN Properties Silt Building II, LLC  
Lot 157A , Lyon Subdivision P.U.D.  
Silt, CO

Site Plan Review

Notes,  
Site Plan

Date: 07-14-23  
2302A-07-14-23

CVR



## ***V. Applicable Municipal Code Sections.***

All new commercial development in the Town undergoes a Site Plan Review Process for the development. The Site Plan Review process is outlined in Chapter 17.42 of the Silt Municipal Code. I am listing applicable code sections below, but in instances where there is new construction in the Silt Trade Center staff relies heavily on the final PUD document for the Silt Trade Center. This is attached and is Ordinance 19 – Series of 2008. As you know, the Planning Commission is the decision-making body for the Site Plan Review process. Appeals of the Commission’s decision or individual conditions of approval go to the Board of Trustee’s.

The Commission is charged with approving the application as presented, approving with conditions, denying the application or continuing the hearing until a date certain. I am providing a draft Resolution of Approval for your review. It can be modified during the meeting as necessary. You may also have conditions which you may have staff review and approve if plans need to be updated or if you wish changes to be made.

### Relevant Code Sections: (for a normal Commercial Site Plan Review)

17.42.060 -	Uses requiring a Special Use Permit and Site Plan Review in all commercial districts
17.42.100	Intent of Landscape Design Guidelines
17.42.120	Site Plan and Design Standards
17.42.130	Grading
17.42.140	Public Rights-of-way
17.42.150	Perimeter Landscaping
17.42. 170	Landscaping Installation
17.42.190	Off – Street Parking Requirements

## ***VI. Review Agency Comments***

**We did not send this particular application for a site plan review to the various agencies as the subdivision was laid out and platted a few decades ago and all infrastructure is installed.**

## ***VII. Site Plan Issues***

### Access

**Planner’s comment:** Acceptable. Both the shared parking and access to the Garage bay doors are from Silver Spur. Driveways are paved with asphalt. Please note that the PUD Ordinance allows vehicles utilizing Silver spur to back out onto Silver Spur. That is not true of many of the other roadways within the Silt Trade Center. Access is compliant. **You will also note that the shared parking/access/utility easement is larger on Lot 157 than Lot 158. That is acceptable. This has to do with one lot being adjacent to another right-of-way and dimensionally laying out the parking and circulation areas.**

### Site Layout

**Planner's Comment.** Building is compliant with all site layout standards. Setbacks meet ordinance requirements

### Parking

**Planner's Comment.** Parking is provided per town code. 7 spaces are required and 8 are provided. Parking space dimensions, vehicle access aisles etc. are also code compliant.

### Architecture

Planners Comments:

- Please note that this is a metal building but metal siding is not allowed for this particular lot. This lot, while it was rezoned as part of ordinance 19 – 2008 and changed to B-2 (Industrial), it retained B-1 development and architectural guidelines. Therefore, in working with the applicant they will be providing a stucco exterior for the building. They have chosen an Ash color for the main portion of the siding with a zinc color for the lower-level wainscoting. Roofing will be a charcoal gray color. Color sheets attached. **Not only does this help you envision the colors, but it also allows you to pick another color if you do not wish both of these buildings to be built in tandem have the same color. The color appears adequate to the planner.**
- Height. The building comes in at 30 feet in height. 30 foot is the height limit. Compliant.
- Elevations. Updated elevations are provided for you. Please note that the east and west building elevations are quite plain with the exception of a few windows. When buildings are 60 feet in length there are required "breaks/changes in patterns" to give it a little bit of architectural interest. These buildings do not meet that size criterion. **However, you may want some small break or color change to add a little visual interest. Even though they do not meet the 60 lineal feet to mention which requires such changes, it would be good to have some type of change in material or colors on these elevations to provide relief for adjacent property owners.** The front and the rear appear to have enough action going on between bay doors, and trees, exterior stairways etc.

**(Note: this architectural update and color sheets were specified for Lot 158 but they apply to both Lot 157 & 158)**

### Landscaping

**Planner's Comment.** There is a draft landscape plan attached for your review. The architect wishes for me to remind you that it is a draft. Most of the species indicated are those listed acceptable for the Silt Trade Center. I've also asked the architect to work on a little screening for the patio areas which are at either the southeast or southwest corner of these two particular buildings. I have recommended that each of the residential tenants have a small sitting area, whether that be in the patio or as part of a second story deck or balcony etc. He is working on a concept to help provide some privacy and will be presented at the hearing. As you know, we are trying to have all accessory in multifamily residential housing units have private open space.

### Storage

**Planner's Comment.** No outdoor storage is indicated. If that changes, storage areas must be accompanied by a code compliant screening fence. Him

**Miscellaneous Site plan Review Comments:** The architecture and material seem to be appropriate for the location. Landscaping is being provided and parking and access acceptable. You may have your own thoughts on whether the east or west building elevations need a little touchup.

#### **VIII. Planner Recommendation:**

Staff finds that the building and site are being developed in general compliance with the regulations of the Silt Trade Center and in the spirit of the commercial site plan review standards. Staff recommends **APPROVAL** of the proposed commercial with the associated residential apartments with the following conditions.

1. All representations of the applicant made in writing, application materials and verbally at the Planning Commission meeting or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.
2. All exterior lighting in the project shall conform to the Town of Silt lighting standards.
3. That the landscaping plan be acceptable to the Community Development Department and that there be adequate private open space provided for the residential tenants. Final Landscape Plan should indicate the irrigation system.
4. Any outdoor storage requires a permit and shall be adequately screened by code compliant screening fence.
5. That the applicant's representative work with Town Staff to have an adequate parking/maintenance/easement agreement and document prepared which shall be recorded in the Garfield County Clerk and Records Office along with the Resolution of Approval (these can be recorded at separate times if appropriate).
6. That all land-use related fees and other items with Town Consultants be paid prior to issuance of the Building Permit.

#### **IX. Recommended Motion:**

**I move to approve the site plan review for Lot 158 of the Silt Trade Center with the staff recommended conditions by adoption of Resolution 2- Series of 2023. (Any modifications or additional conditions made by the Planning Commission should be added to this motion).**

**TOWN OF SILT  
RESOLUTION NO.  
PZ-2 SERIES OF  
2023**

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SILT APPROVING THE SITE PLAN REVIEW FOR Lot 158 OF THE SILT TRADE CENTER IN THE TOWN OF SILT, GARFIELD COUNTY, STATE OF COLORADO, SUBJECT TO CONDITIONS.**

**WHEREAS**, JSN Properties has requested a Site Plan Review for property located at Lot 158 of the Silt Trade Center according to the plat recorded as Reception # 775409 with a full legal description included in Exhibit A; and

**WHEREAS**, the proposed permitted use is subject to Site Plan Review procedures contained in Chapter 17.42 of the Silt Municipal Code and also subject to Ordinance 19 – series of 2008; and

**WHEREAS**, the Planning and Zoning Commission of the Town of Silt reviewed this application at a public hearing at the September 5, 2023 Planning and Zoning Commission meeting; and

**WHEREAS**, the Planning and Zoning Commission of the Town of Silt finds the following with respect to the Site Plan Review:

- A. The proposal for a service business with the building designed with 2000 ft.<sup>2</sup> of commercial space and 2 Bedroom Apartments can be accommodated on the subject property without exposure to unmitigated hazards.
- B. The proposed development has adequate ingress and egress from Silver Spur.
- C. The proposal meets the criteria as indicated in Chapter 17.42 of the Silt Municipal Code and the criteria outlined in Ordinance 19 – Series of 2008;

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SILT, COLORADO**, that the site plan review application submitted by JS and properties is hereby approved, subject to the following conditions:

**INTRODUCED, READ, PASSED AND ADOPTED** at a regular meeting, of the Planning and Zoning Commission of the Town of Silt, Colorado held on the 5th day of September, 2023.

1. All representations of the applicant made in writing, application materials and verbally at the Planning Commission meeting or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.
2. All exterior lighting in the project shall conform to the Town of Silt lighting standards.
3. That the landscaping plan be acceptable to the Community Development Department and that there be adequate private open space provided for the residential tenants. Final Landscape Plan should indicate the irrigation system.
4. Any outdoor storage requires a permit and shall be adequately screened by code compliant screening fence.
5. That the applicant's representative work with Town Staff to have an adequate parking/maintenance/easement agreement and document prepared which shall be recorded in the Garfield County Clerk and Records Office along with the Resolution of Approval (these can be recorded at separate times if appropriate).
6. That all land-use related fees and other items with Town Consultants be paid prior to issuance of the Building Permit.

ATTEST:

TOWN OF SILT

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Chair: Lindsey Williams

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Planner Mark Chain



**Exhibit A**  
**Legal Description**

Lot 158 of the amended plat of lots 83, 86, 125, 129, 130, 152, 156 and 157 And  
the Composite Plat Map of the Silt Trade Center recorded as Reception #  
775409

## **EXHIBITS**

Ordinance – 19- Series of 2008

Landscape Plan

Color Palette

Updated Elevations for Lot 158 (also applies to Lot 157 – but with east and west elevations reversed)

Technical Prints from Application

Application Forms

**TOWN OF SILT  
ORDINANCE NO. 19  
SERIES OF 2008**

**AN ORDINANCE TO AMEND AND RESTATE THE LYON SUBDIVISION PLANNED UNIT DEVELOPMENT GUIDELINES (HEREINAFTER "PUD GUIDELINES"), ALSO KNOWN AS THE SILT TRADE CENTER, IN ORDER TO BETTER CLARIFY ALL REVISIONS TO THE PUD GUIDELINES TO DATE, AND TO ALLOW FOR B-1 PUD LOTS 78A, 78B, 79, 125 THROUGH 128 INCLUSIVE, 130, 131, 141, 148, AND 152 THROUGH 158 INCLUSIVE, TO BECOME B-2 PUD IN USE, WHILE STILL REQUIRING THE B-1 PUD ARCHITECTURAL, SITE PLANNING AND LANDSCAPING CRITERIA FOR THESE MENTIONED LOTS.**

**WHEREAS**, the Local Government Land Use Control Enabling Act of 1974, §§29-20-101, et seq., C.R.S.; Article 23 of Title 31, C.R.S.; and other applicable laws grant broad authority to the Town of Silt, Colorado ("Town") to plan for and regulate the development and use of land on the basis of the impact thereof on the community and surrounding areas; and

**WHEREAS**, on or about May 1, 2008, Kelly and Michael Lyon Family LLC (hereinafter "Applicant") submitted a rezoning application to the Town of Silt (hereinafter "Town") requesting that certain lots within the Lyon Planned Unit Development (otherwise known as the Silt Trade Center) and specifically known as B-1 PUD Lots 78A, 78B, 79, 125 through 128 inclusive, 130, 131, 141, 148 and 152 through 158 inclusive (hereinafter "Subject Lots") revert to B-2 PUD lots in use, while still maintaining the B-1 PUD architectural, site planning and landscaping features; and

**WHEREAS**, the Applicant received support for this application from the owners of 61 of the 82 lots within the Silt Trade Center, as evidenced in the Applicant's submittal; and

**WHEREAS**, this ordinance amends and replaces only the "Commercial Business Park" guidelines as stated on Sheet 1B of the Lyon Subdivision Planned Unit Development Final Subdivision Plat, and does not affect the residential portion of the planned unit development; and

**WHEREAS**, on or about July 1, 2008, the Planning & Zoning Commission (hereinafter "Commission") considered the application and recommended to the Board of Trustees (hereinafter "Board") approval of the rezoning request and PUD amendment within conditions as noted in this ordinance; and

**WHEREAS**, on or about July 28, 2008, the Board considered the rezoning and PUD amendment application at a duly noticed public hearing, pursuant to the Silt Municipal Code ("Code") and pertinent Colorado Revised Statutes; and

**WHEREAS**, on or about August 11, 2008, the Board determined that the proposed rezoning for the Subject Lots is consistent and in conformity with the existing pattern of zoning within the Silt Trade Center and within the Town, with the Town's Comprehensive Plan, as amended, and that the proposed amendment and restatement of the PUD Guidelines will clarify for the Town, the Applicant and the property owners within the Silt Trade Center the uses and restrictions, and convey to the Town, the Applicant and the property owners within the Silt Trade Center the uses and restrictions of the PUD Guidelines; and

**WHEREAS**, the Board is granted broad authority by State Statutes and its home rule charter in order to provide for the health, safety and welfare of its citizens; and

**WHEREAS**, Section 16.12.580 of the Silt Municipal Code (hereinafter "Code") requires that the Board adopt an ordinance setting forth said Board's findings of fact and conclusions prior to approval of the subject rezoning and PUD amendment application.

**NOW, THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF SILT, COLORADO, THAT:**

### **Section 1**

#### **The PUD Guidelines ("Guidelines")**

The Guidelines shall be amended and restated as follows:

The following designated lots are within the Silt Trade Center PUD, subject to these conditions: Lot 78A, 78B, 79 through 158;

The following designated lots are B-1 PUD lots: Lot 129, Lots 132 through 140, inclusive;

The following designated lots are B-2 PUD lots with B-1 PUD architectural, site planning and landscaping criteria, as prescribed by this ordinance: Lots 78A, 78B, 79, 125 through 128, inclusive, 130, 131, 141, 148, 152 through 158 inclusive;

- A. Permitted Uses: To provide alternative development standards that will encourage a variety of development including the following and other similar uses as permitted by the Town of Silt:

B-1 PUD Uses

- 1) Convenience Store with or without drive-through
- 2) Day Care Center
- 3) Bank with or without drive-through
- 4) Laundromat
- 5) Office Building
- 6) Retail Business with or without drive-through
- 7) Restaurant with or without drive-through
- 8) Food Store with or without drive-through
- 9) Church
- 10) Library
- 11) Retail Gas Station
- 12) Hotel/Motel
- 13) Professional Business
- 14) Movie Theater
- 15) Bowling Alley

B-2 PUD Uses

- 1) Self-Storage Unit(s)
- 2) Fire Station
- 3) Service Business
- 4) Auto Repair Shop
- 5) Construction Business
- 6) Light Manufacturing Business
- 7) Wholesale Business
- 8) Lumber Yard
- 9) Cabinet Shop with or without manufacturing
- 10) Car Wash

\*Note: B-1 PUD uses can be placed upon any lot within the Silt Trade Center.

As to Lots 78A, 78B, 79, 125 through 128, inclusive, 130, 131, 141, 148, 152 through 158 inclusive, the following uses are specifically excluded: there shall be no Retail Gas Stations, Self-Storage Units, Car Wash, or Auto Repair Shops.

- B. Minimum lot area: 7,000 square feet;
- C. Minimum lot frontage to a public and allowable access: 30 feet;
- D. Minimum lot depth: 80 feet (Does not apply to Lots 78A, 78B, 155, 156, 157 and 158;
- E. Minimum lot width: 50 feet (Does not apply to Lots 78A or 78B);
- F. Maximum building height: primary structure: No building may be taller to the ridge than 35 feet above the original ground elevation or 100 year flood plain, whichever is greater. Lots within 100 year floodplain are designated on recorded plat. Construction in 100 year floodplain shall meet the current adopted building code, as adopted by Town of Silt. It is each individual lot owner's responsibility to determine the requirements of the Town of Silt.
- G. Minimum setbacks:

1. Front and street side yards: 20 feet from all street rights-of-way or private access easements, except buildings on lots adjacent to State Highway 6 may be ten (10) feet from the State Highway 6 right-of-way.

2. Side and rear yards: Buildings may be built to lot lines on one side if the adjoining building is 10 feet or more from the adjoining lot line or if the adjoining lot is vacant. No two buildings shall be within ten feet of each other. If more than one lot is owned by the same party, it shall be considered as one lot for setback purposes. Union Pacific Railroad (UPRR): No building shall be constructed nearer than 30 feet from the right-of-way of the UPRR.

H. Utility and drainage easements: There are to be reserved easements encumbering each lot herein for the purpose of construction and maintenance of utility and drainage facilities as follows:

1. There shall be a ten (10) foot wide utility and drainage easement along all street rights-of-way, including State Highway 6;

2. There shall be a five (5) foot wide utility easement along the south (rear) lot lines of Lots 125-130 and a five (5) foot utility easement along the west lot line of Lot 130;

3. There shall be a ten (10) foot wide utility and drainage easement along the west boundaries of Lots 124 and 135 and a ten (10) foot wide utility and drainage easement along the east boundary of Lot 97;

4. There shall be a ten (10) foot wide utility easement along the west boundary of Lot 87, for a distance of 128.73 feet, more or less;

5. There shall be a thirty (30) foot wide utility and drainage easement from the edge of the Union Pacific Railroad right-of-way, to all those lots adjacent to and north of the Union Pacific Railroad; and

6. Other easements as shown on the Final Plat dated \_\_\_\_\_.

I. Off-street parking:

1. All off-street parking lots shall be paved and the minimum requirements of the Town of Silt as to the number of spaces required shall be met.

2. All parking in the Silt Trade Center shall be designed to accommodate entrance and exiting from the lot in a forward motion of the vehicle, unless an alternative site plan is approved by the Town. See Section I.4 for Silver Spur requirements below.

3. Two driveways will be allowed per common ownership, but additional driveways may be allowed by the Town upon request by lot owner.

4. All parking areas in the front yard setback shall be separated from the right-of-way with a landscaped area which shall be a minimum width of 10 feet in the B-1 PUD areas and 6 feet in the B-2 areas, measured perpendicular to the right-of-way. Area of the right-of-way between the pavement and property line is to be landscaped. All front yards in the B-1 PUD and B-2 PUD, exclusive of parking and driveways, shall be landscaped. Lots upon Silver Spur may have parking areas within the twenty (20) foot wide setback area so long as the 10% lot landscaping is maintained on these lots. Vehicles may exit from these lots by backing onto Silver Spur.

5. Rock cover may be used in the landscaped area. Any rock cover area shall have as a minimum a weed barrier being five (5) mils or greater in thickness. Landscape plans shall be submitted to the Town along with building permit applications;

J. Construction materials.

1. All structures shall be constructed of new materials and shall be of brick, brick veneer, stone, manufactured stone, lumber, stucco, decorative concrete block, cedar siding or metal sheeting.

2. Exterior metal sheeting siding is not allowed within B-1 PUD District. Metal sheeting on roofs is allowed but no galvanized roofing material is allowed. All exposed metal sheeting is to be painted in earth tone colors only.

3. Unfinished and/or non-painted cinderblock or cement shall not be used for exposed walls.

4. All construction shall be in conformance with the latest adopted building Code as adopted by the Town of Silt.

5. All construction on lots 78A, 78B, 79, 125 through 128, inclusive, 130, 131, 141, 148, and 152 through 158 inclusive shall be built to the following standards.

a. Building materials and design shall be selected by the applicant in order to achieve and maintain high architectural standards and to avoid boxy or monotonous industrial appearances. The following techniques will help achieve this effect:



1. Adding thoughtful architectural design elements into each building that may include:

- a. Varying and intersecting the rooflines;
- b. Adding dormers, porches, cantilevers, covered walkways, etc.;
- c. Adding architectural detailing to trim work, lighting, windows, doors, soffit and fascia;

2. Using a variety of complementary quality building materials and techniques to add interest and artistic appeal to the building that may include, but shall not be limited to: stucco, wood, brick, stone, untreated metal, architectural block and/or architectural concrete.

b. The building design shall contribute to the character of the zone district and to the community by the thoughtful use of materials, sizing, elements, features, color ranges, and of activity areas specific to the site, proposed uses and surrounding land uses.

c. Facade treatment shall be implemented in order for each building to be architecturally interesting. In order to avoid the effect of a single, long, or massive wall, the following additional standards shall apply:

1. Building bays wider than sixty feet shall be visually established by architectural features that can include but not be limited to: columns, ribs or pilasters.

2. No building wall that faces a street or connecting walkway shall have a blank, uninterrupted length of more than sixty feet without containing at least two of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines, or an equivalent element that subdivides the wall.

3. All sides of the building shall include materials and design characteristics consistent with those on the front. Use of inferior or substandard quality materials for side or rear facades shall be prohibited. The sides and backs of buildings shall be as visually attractive as the front through the design of rooflines, architectural detailing, and landscaping features.

4. Base treatments shall be one of the following:

- a. Integrally textured materials such as stone or other masonry;
- b. Various textured material combinations such as stone/wood, stone/stucco, wood/stucco, brick/wood or any such combination;
- c. Integrally colored and patterned materials such as



smooth rock, granite or tiles;

d. Various colored and patterned materials such as mullions, panels or planters; and

e. Design patterns such as ledges, sills, headers, parapets or other wall variations.

5. Treatments on or near the top of the building must be recognizable from any street, parking lot or open space and consist of one of the following: cornice treatments, other than just colored "stripes" or "bands", with integrally textured materials such as stone or other masonry, or differently colored materials; sloping roof with overhangs and brackets; or stepped parapets.

6. Exterior building materials shall be high-quality material including, but not limited to: brick, sandstone or other native stone, wood siding, stucco or tinted/textured concrete masonry units.

K. Housing:

1. No structure of a temporary or permanent character, mobile home, trailer, basement, tent, shack, garage, barn or any other outbuildings of any description shall be used on any lot as a residence unless compliant with this section;

2. Lots 78A, 78B, 79, 125 through 128 inclusive, 130, 131, 141, 148, 152 through 158 inclusive may have up to two housing units per lot when proposed as an accessory use to the main commercial use, without the need of a special use permit for a maximum of 36 units. All other lots may have two housing units per lot, with a special use permit. All housing units shall be subject to a parkland dedication in-lieu fee of \$868.84 per unit at building permit. Such fee will escalate 6% annually as set forth in the Silt Municipal Code.

3. A housing unit is defined as having at least one bathroom, one kitchen and one or more bedrooms. This section does not apply to hotels and/or motels, which are permitted uses in both B-1 PUD and B-2 PUD districts. Parking space requirements are defined by the Silt Municipal Code as adopted at the time of site plan review.

L. Commercial sign code: All signs shall conform to Chapter 17.60 of the Silt Municipal Code, unless approved by the Planning & Zoning Commission through the sign exception process.

M. Animals:

1. No animals, livestock or poultry of any kind shall be raised, bred or kept on any lot for any purpose, except dogs and cats per Chapter 6.04 of

the code and small caged (or aquarium) animals normally kept as household pets

2. No animal may run at large.

3. The number of dogs and/or cats per housing unit shall be per Chapter 6.04 of the Silt Municipal Code.

N. Solid Fuel Burning Systems and Oil Burning Systems: No solid fuel burning systems or oil burning systems are to be permitted within the Silt Trade Center PUD.

O. No unsightliness: No unsightliness shall be permitted. Without limiting the generality of the foregoing:

1. Lots in the B-1 PUD District shall be allowed outside storage with a solid fence six (6) feet high with the same materials as the siding on the building on the B-1 PUD lot, so long as the outside storage is located behind the building or on the side the building and is not highly visible from State Highway 6. ;

2. Excluding those lots that are to be rezoned by this ordinance from B-1 PUD to B-2 PUD, all other B-2 PUD lots with outside storage must have a neat and well maintained 6 foot high minimum chain link screened fence with green mesh screening or as approved by the Town of Silt;

3. All broken windows must be replaced immediately;

4. No lot shall be used as a dumping ground for garbage or refuse. Dumpsters must be enclosed on three sides. Dumpsters cannot be located in front yard or side yard adjoining a street.

5. All lot owners shall maintain whatever landscaping installed, even if the building is vacated;

6. All landscaping shall be kept in a healthy and well-kept condition. Landscaping is a requirement of this ordinance and shall meet the minimum standards at all times after initial installation. Landscaping shall be checked for compliance prior to issuance of any permit including but not limited to new sign permits or business permits. It shall be the responsibility of the owner of the lot to assure compliance.

P. No nuisances including annoying lights, sounds or colors. All activities, lights, sounds and colors shall be in conformance with Chapter 17.49 of the Silt Municipal Code. No persistent noise in excess of fifty decibels dB

shall be detectable beyond the property line before 7:00 AM or after 10:00 PM.

- Q. Utility lines: All utilities, including but not limited to: gas lines, power lines, cable TV, and telephone shall be placed underground. Under-grounding should not be limited to individual service lines to the homes and businesses, but apply to all lines.
- R. Access to State Highway 6: No lot shall have direct access to State Highway 6 or across the railroad right-of-way.
- S. Landscaping requirements.
1. A minimum of 10 percent of each lot within the Silt Trade Center will be landscaped. Areas to be landscaped include front and street side yards;
  2. Lots along the railroad right-of-way are required to plant a 1 ½" diameter or greater tree for visual screening every 20 feet on center within the landscape buffer zone. Trees shall not interfere with the drainage easement along the southern property boundary of Lots 86 through 97. A minimum of four 1 ½" diameter or greater trees and eight 1 gallon shrubs per lot will be planted;
  3. Lots 78B, 79, 136, 152, 153 and 154, when developed will be required to landscape the 10 foot setback area from State Highway 6 with one 1 ½" diameter or greater tree for every 2,000 square feet of the setback zone area. The setback area will meet the requirements as outlined under Item "H" for front yards. Lots 78B, 79, 136, 152, 153 and 154 will provide two 1 ½" diameter or greater trees and two one gallon shrubs for landscaping for every 1,200 square feet of floor space developed.
  4. Landscaping shall be assured by a deposit provided to the Town at the time of issuance of a building permit. Said deposit shall be \$250.00 for all lots within the B-1 PUD and B-2 PUD Districts and released upon installation of landscaping which meets or exceeds minimum standards as stated in this ordinance.
  5. All materials binding the trunk or root ball must be removed prior to planting. Any tree or shrub not surviving after one year from planting will be replaced at owner's expense. All plantings must be made within one growing season.
  6. Trees suggested for this development are:

- a. Austree (willow);
  - b. Flowering crabapple;
  - c. Hybrid cottonless cottonwood;
  - d. Fruit trees;
  - e. Ponderosa pine;
  - f. Lombardy poplar;
  - g. Maple;
7. Trees not permitted in this development:
- a. Cottonwood (female);
  - b. Elm;
- T. Site plan requirements. Each lot proposed as a commercial unit shall submit to the Town of Silt a detailed site plan showing at a minimum the following:
1. Structure location on the lot and setbacks from property lines;
  2. Designated parking areas;
  3. A landscaping plan showing the areas designated for landscaping, exterior fencing showing type of construction and height;
  4. If construction occurs during a time when planting of vegetation is not practical, then certain assurances (\$250.00 deposit) to the Town of Silt will be made to guarantee that the proposed landscaping improvements will be made;
  5. Compliance with height, construction material(s) and setback restrictions;
- U. The water service to Lot 137 shall be limited to commercial uses not requiring a fire protection system or other potential uses that require larger than a ¾ - inch service line.
- V. That all new or revised easements, in particular the Drainage and Utility Easement that was amended by Ordinance 26, 1998, be indicated on the new plat and a note preventing placement of materials that may impede proper storm water runoff

## **Section 2**

All ordinances heretofore passed and adopted by the Board of Trustees of the Town of Silt, Colorado are hereby repealed to the extent that said ordinances, or parts thereof, are in conflict therewith.

**Section 3**

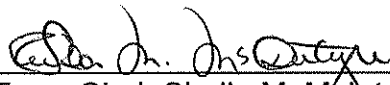
If any section, subsection, clause, phrase or provision of this Ordinance, or the application thereof to any person or circumstance, shall to any extent, be held by a court of competent jurisdiction to be invalid, void or unconstitutional, the remaining sections, subsections, clauses, phrases and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and shall in no way be affected, impaired or invalidated.

**INTRODUCED, READ AND APPROVED ON FIRST READING**, a public hearing, this 11<sup>th</sup> day of August 2008, at 7:00 p.m. in the Municipal Building of the Town of Silt Colorado.


**PASSED, APPROVED ON SECOND READING, ADOPTED AND ORDERED PUBLISHED** following a continued public hearing this 25<sup>th</sup> day of August, 2008.

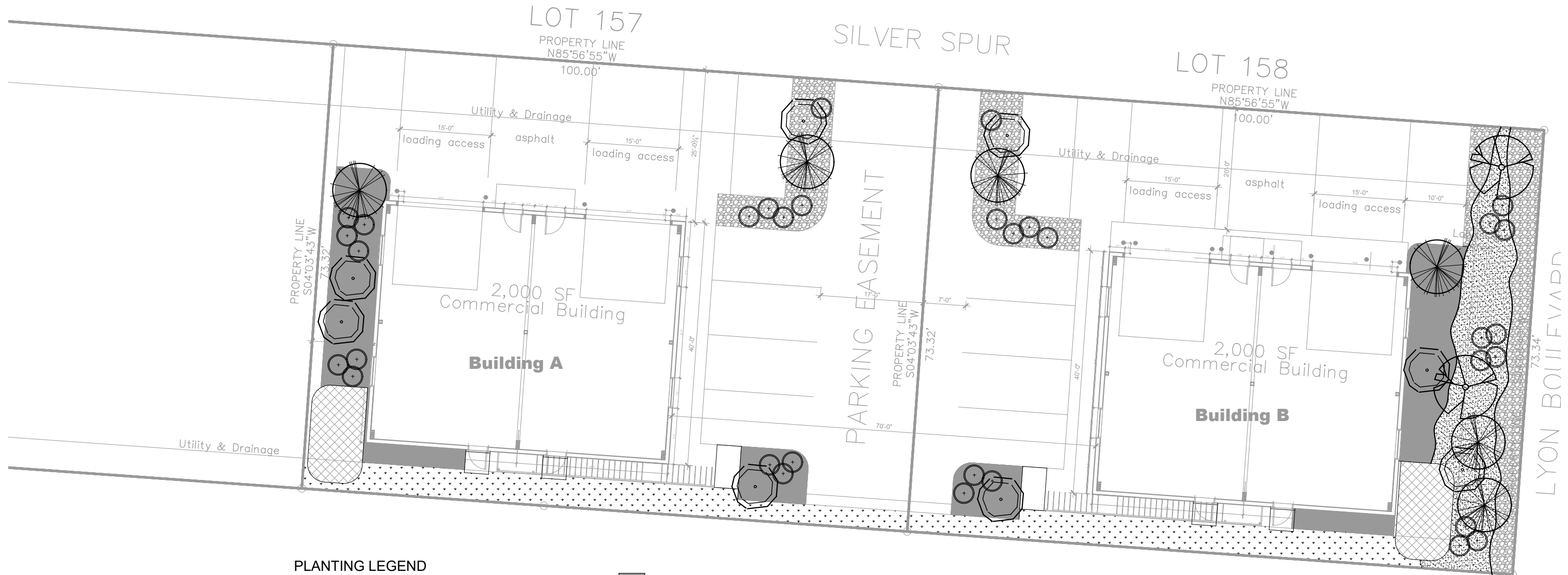
ATTEST:

TOWN OF SILT










  
Town Clerk Sheila M. McIntyre MC



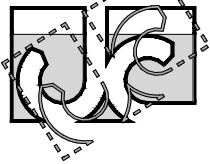
  
Mayor David C. Moore



**PLANTING LEGEND**

COMMON NAME	BOTANICAL NAME	AMOUNT	SIZE		
 PONDEROSA PINE	PINUS PONDEROSA	6	10' B&B	 IRRIGATED SOD	866 SF
 REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2	2" CALIPER	 SEEDED GRASSES	791 SF
 RED SUNSET MAPLE	ACER RUBRUM 'RED SUNSET'	8	2" CALIPER	 OUTDOOR PATIO	564 SF
 PEKING COTONEASTER	COTONEASTER LUCIDUS	33	#5	 4"-6" COBBLE	806 SF
				 3/4" ROUND WASHED GRAVEL	543 SF

08-27-23



**Preliminary Landscape Plans**  
**Skyline Mechanical**  
**Silt, Colorado**



## ▼ Select Wall Color

Hunter Green



Ash Gray



Burnished Slate



Charcoal Gray



Hawaiian Blue



Koko Brown



Light Stone



Polar White



Rustic Red



Saddle Tan



Galvalume



Black



## ▼ Select Roof Color

Hunter Green



Ash Gray



Burnished Slate



Charcoal Gray



Hawaiian Blue



Koko Brown



Light Stone



Polar White



Rustic Red



Saddle Tan



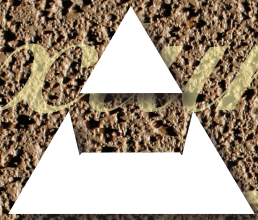
Galvalume



Black







# Strukturoc, Inc.

## Textured Wall Systems

### Signature

#### Textured Wall Panels

(STK 2000, STK 3000) (STK 2500)



- Signature panels are available in 24 standard textured colors and a variety of custom colors.
- The profile is a tongue and groove system with hidden fasteners. One of the strongest wall panels at 20 gauge, stands up to harsh environments while offering a 20 year warranty against fade and chalking.
- The customer will receive the look of stucco with the strength of steel.
- Signature wall panels are easily applied by those persons erecting the building structure. This alone saves you money and eliminates the need for additional contractors on site, along with possible delays due to scheduling.
- Year round installation without tenting for heat will also save expense to the project.
- Signature wall panels are manufactured to your building specifications resulting in lower cost of erection and more timely completion of your project.
- The Signature textured panels are the perfect choice for new construction and renovation projects of all sizes.



NOTE: colors printed on this page may not exactly match actual panel colors. Please request panel swatches for true color match.  
\*These colors also available in the Classic panel\*  
Custom colors available upon request.

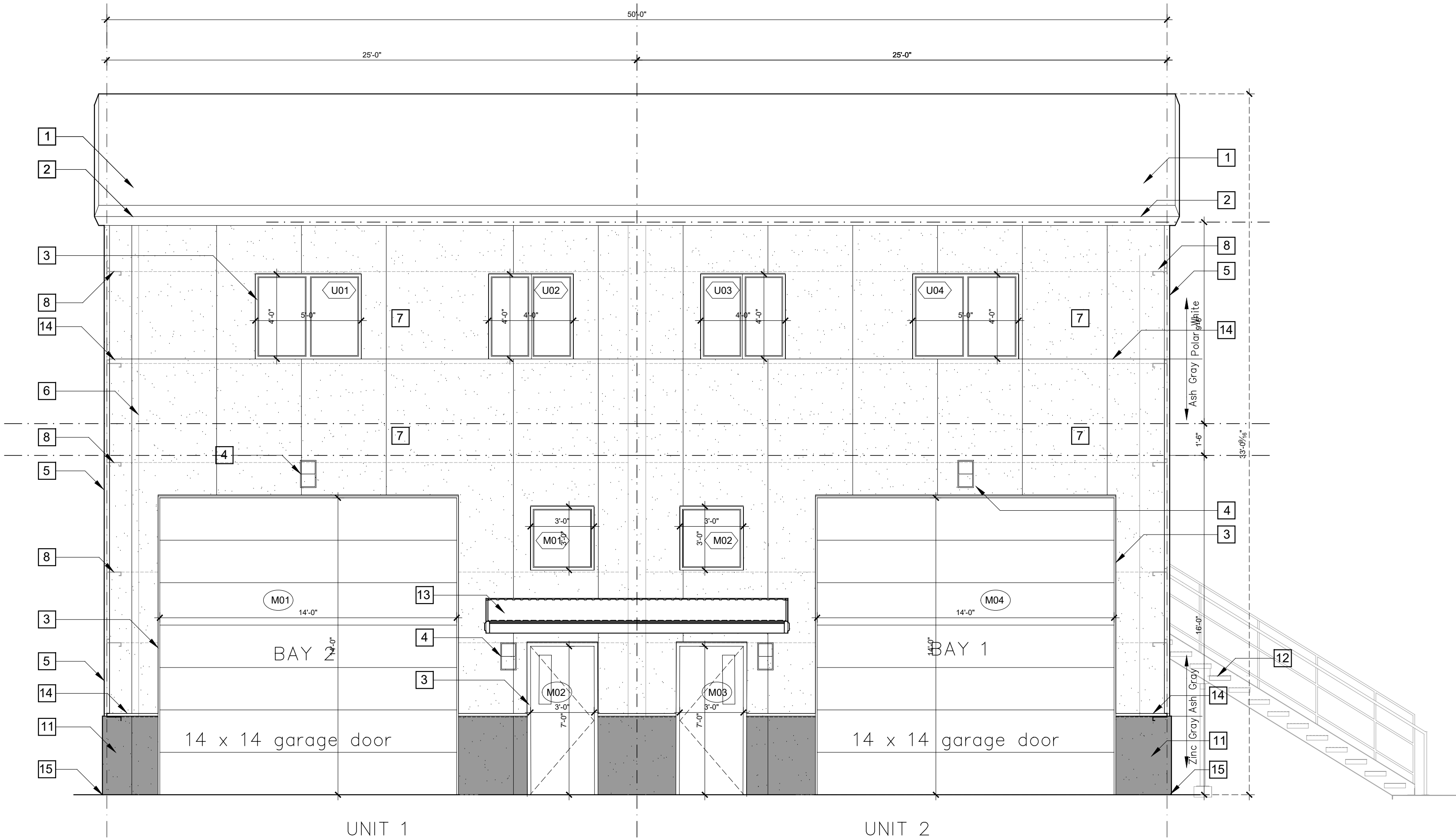
### Textured Wall Systems

# www.strukturoc.com



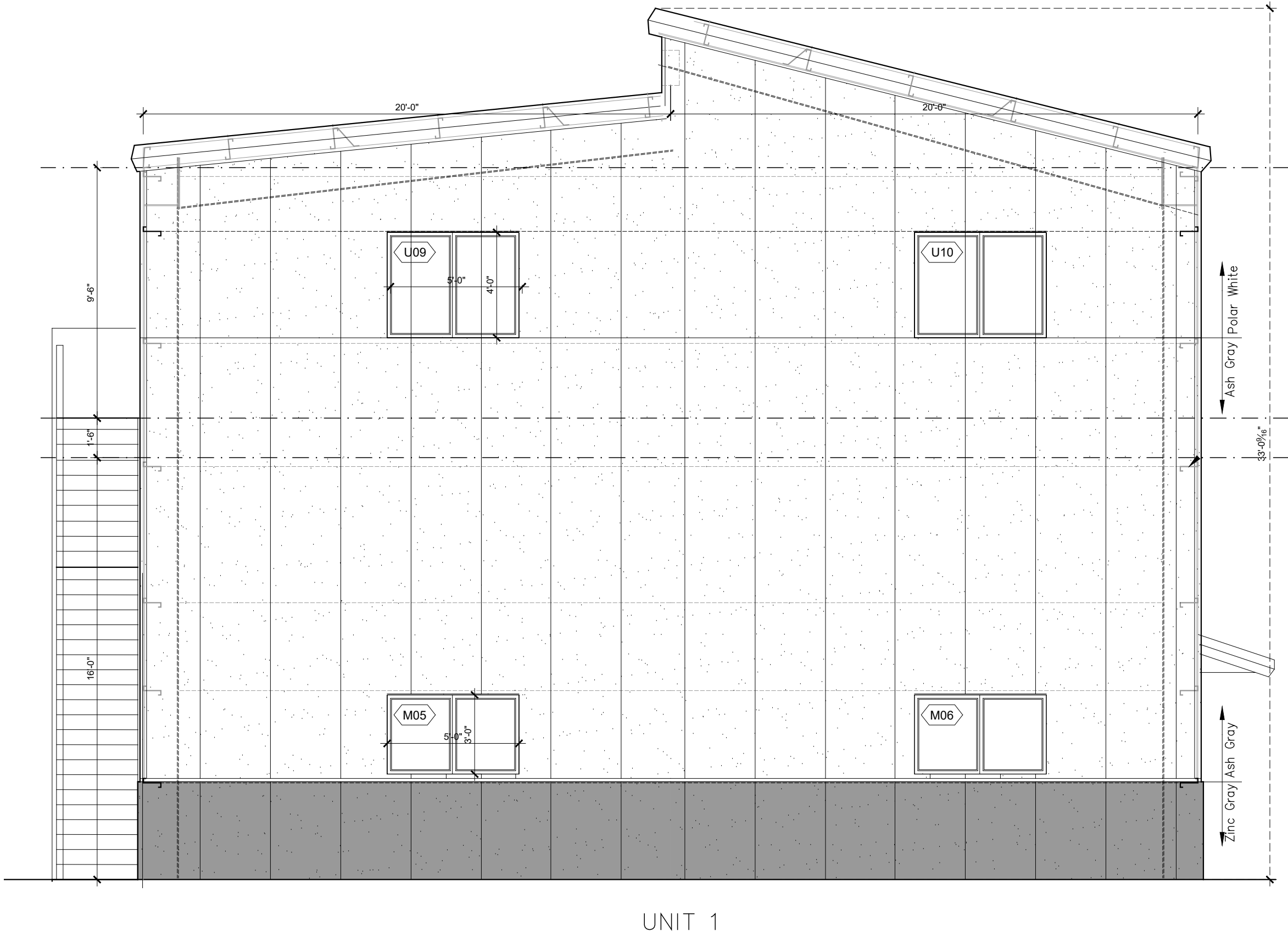
Exterior Finish Legend

1	metal roof panel	Charcoal Gray
2	metal fascia	Charcoal Gray
3	door/window trim	Ash Gray and Polar White
4	exterior light	exterior light
5	corner trim	Ash Gray
6	steel frame	
7	stucco wall panel, field	Signature-Ash
8	wall girt/ roof purlin location	
9	guard rail	painted; gray
10	handrail	painted; gray
11	stucco panel, wainscot	Signature-Gray
12	stair tread	prefab galvanized tread
13	pre-engineered canopy	Charcoal Gray
14	transition flashing	Ash Gray
15	finish grade	
16	foundation below	



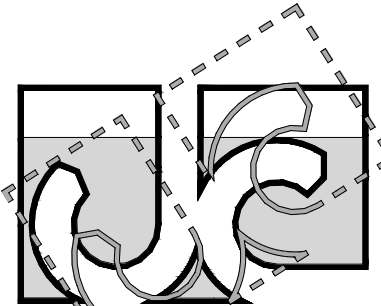
1 North Elevation (street side)

Scale 1/4" = 1'-0"



2 West Elevation

Scale 1/4" = 1'-0"



Jeff Johnson  
Architectural PC

136 East Third Street  
Rifle, CO 81650  
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jeff@jarchitectural.com  
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JSN Properties Silt Building II, LLC  
Lot 158B , Lyon Subdivision P.U.D.  
Silt, CO

Site Plan Review

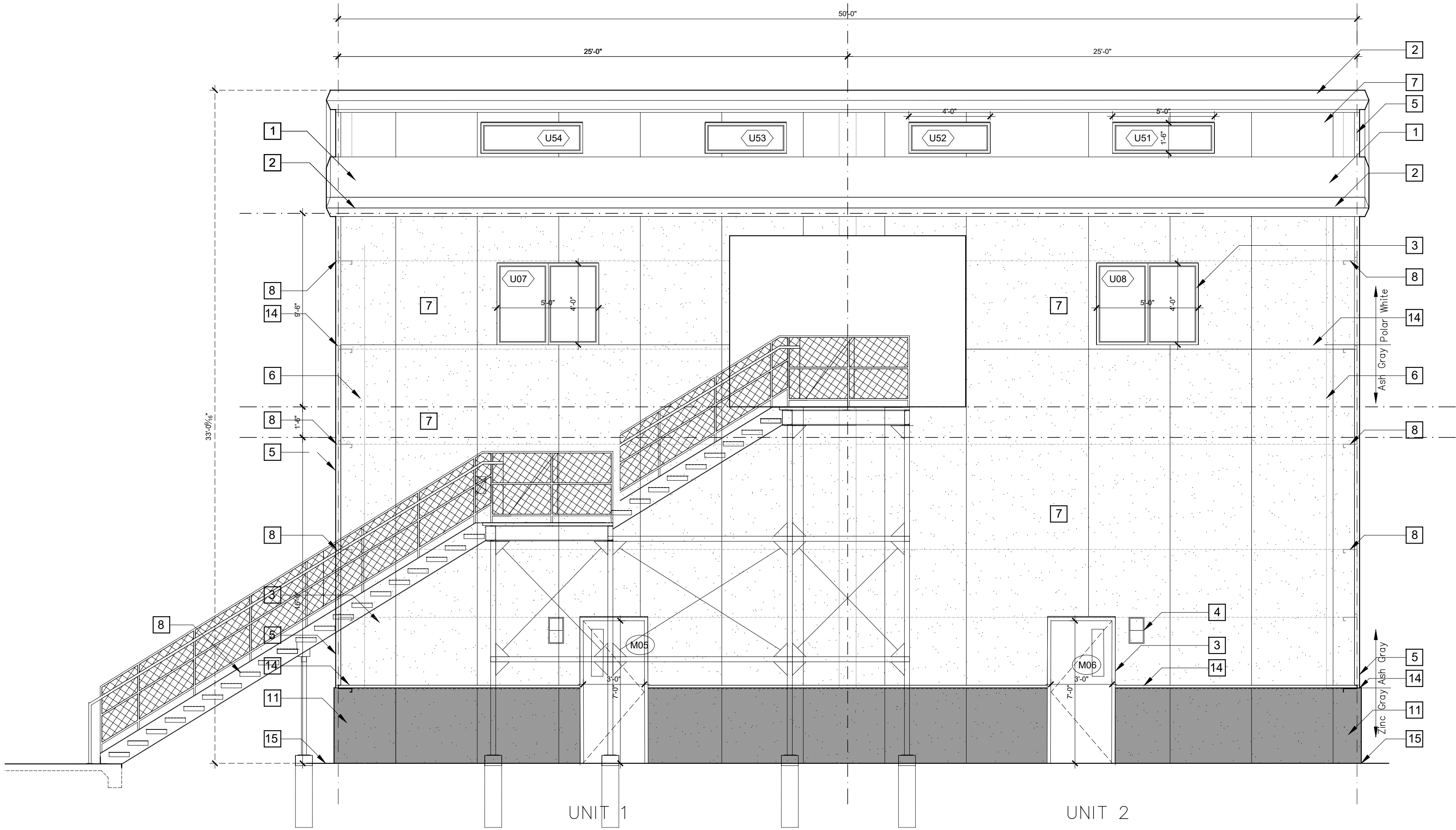
Exterior  
Elevations

Revised: 08-27-23  
2302A-07-14-23

A31

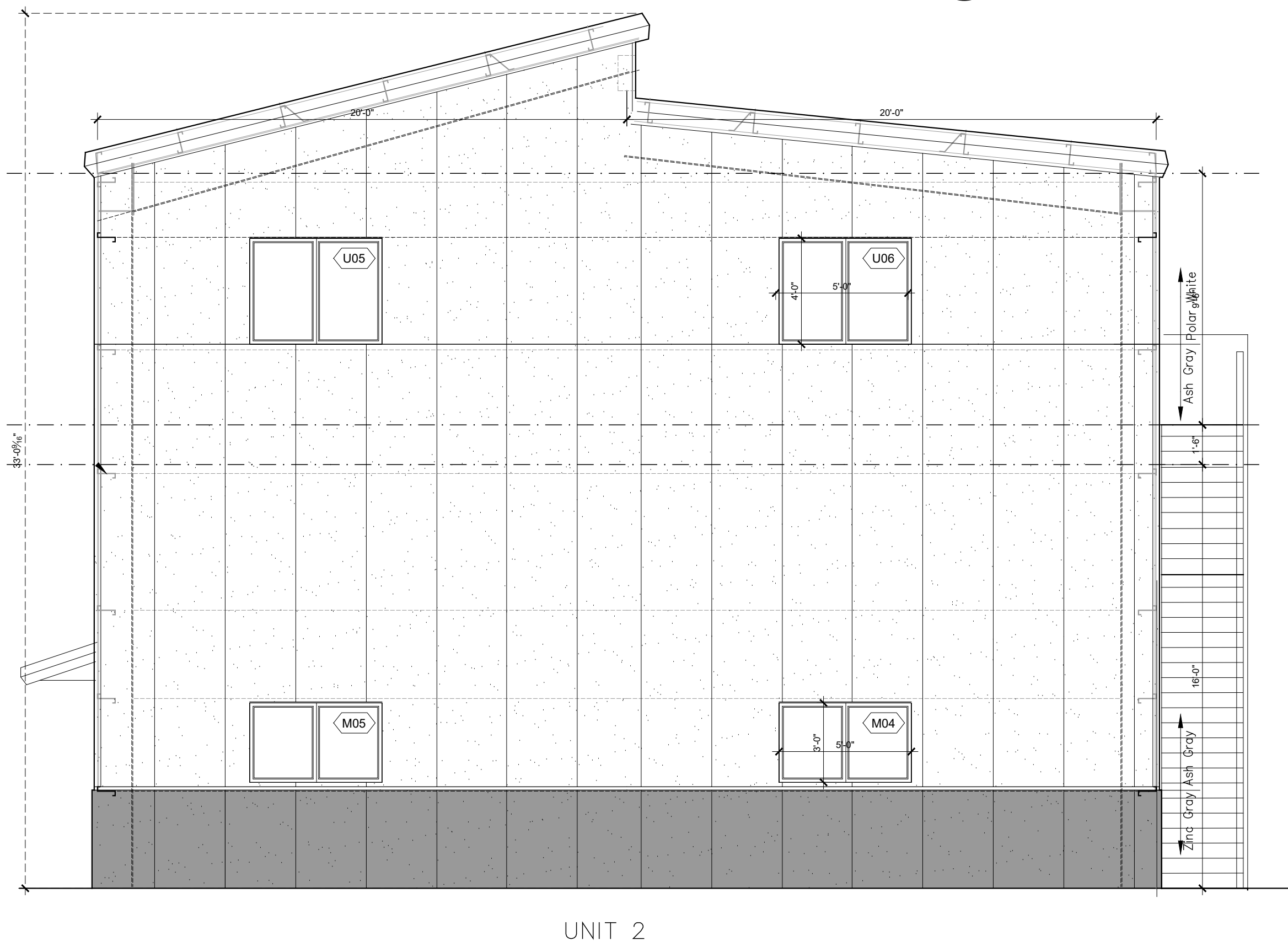
Exterior Finish Legend

1	metal roof panel	Charcoal Gray
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12	stair tread	prefab galvanized tread
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14	transition flashing	Ash Gray
15	finish grade	
16	foundation below	



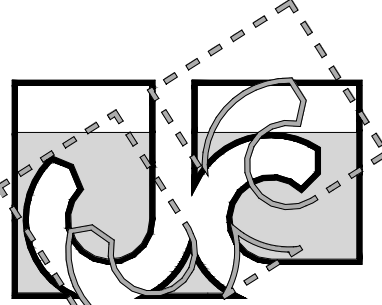
1 South Elevation

Scale 1/4" = 1'-0"



2 East Elevation

Scale 1/4" = 1'-0"



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Architectural PC

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**JSN Properties Silt Building II, LLC**  
**Lot 158B , Lyon Subdivision P.U.D.**  
**Silt, CO**

Site Plan Review

Exterior  
Elevations

Revised: 08-27-23  
2302A-07-14-23

**A32**



General Notes:

The purpose of these drawings is to graphically depict the general nature of the work to be performed. The Contractor shall confirm dimensions and select fabrication processes and techniques prior to construction.

All construction and materials shall be in accordance with all applicable codes, ordinances, laws, permits, and contract documents.

The contractor shall be responsible for the accurate placement of all new construction.

The contractor shall confine his or her operations on the worksite to those areas previously agreed on with the owner.

All materials stored on site shall be properly stacked and protected to prevent damage and deterioration. Failure to protect material may be cause for rejection of work.

The Contractor shall review locations of light fixtures and other recessed ceiling and wall elements prior to framing for proper placement of these items.

The contractor shall verify all field dimensions and conditions, and shall notify the architect of any variations from those items shown herein.

The jobsite shall be maintained in a clean, ordered condition, free of debris and litter. The jobsite shall not be unreasonably encumbered with any materials or equipment. Each subcontractor, immediately upon completing each phase of his or her work, shall remove all trash and debris as a result of his or her operation.

The contractor shall do all cutting, fitting or patching of his or her work that may be required to make its several parts to fit together properly. The contractor shall not endanger any other work by cutting, excavating, or otherwise altering the total work or any other part of it. All patching, repairing and replacing of materials and surfaces cut or damaged in execution of work shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces.

Mechanical subcontractor shall be responsible for designing and installing a code compliant heating and ventilation system. Plumbing subcontractor shall be responsible designing and installing a code compliant water, drain lines, and proper venting. Electrical subcontractor shall be responsible for designing and installing a code compliant electrical system.

The Contractor shall provide all necessary blocking, backing, and framing for bathroom accessories, handrails, guardrails, electrical fixtures, mechanical equipment, recessed items, and any other items, as required.

Refer to truss manufacturer's submittal for truss package details. Truss manufacturer to provide pre-engineered roof trusses and floor joists to provide compliance with Structural Engineer and IRC conventional construction provisions under the following min. loading characteristics:  
40 PSF Roof Snow Load, per truss manufacturer  
40 PSF Floor Live Load  
60 PSF Balcony Load, if applicable

The Contractor shall be responsible for arranging all necessary inspections required by Town of Silt prior to covering any such portions of work.

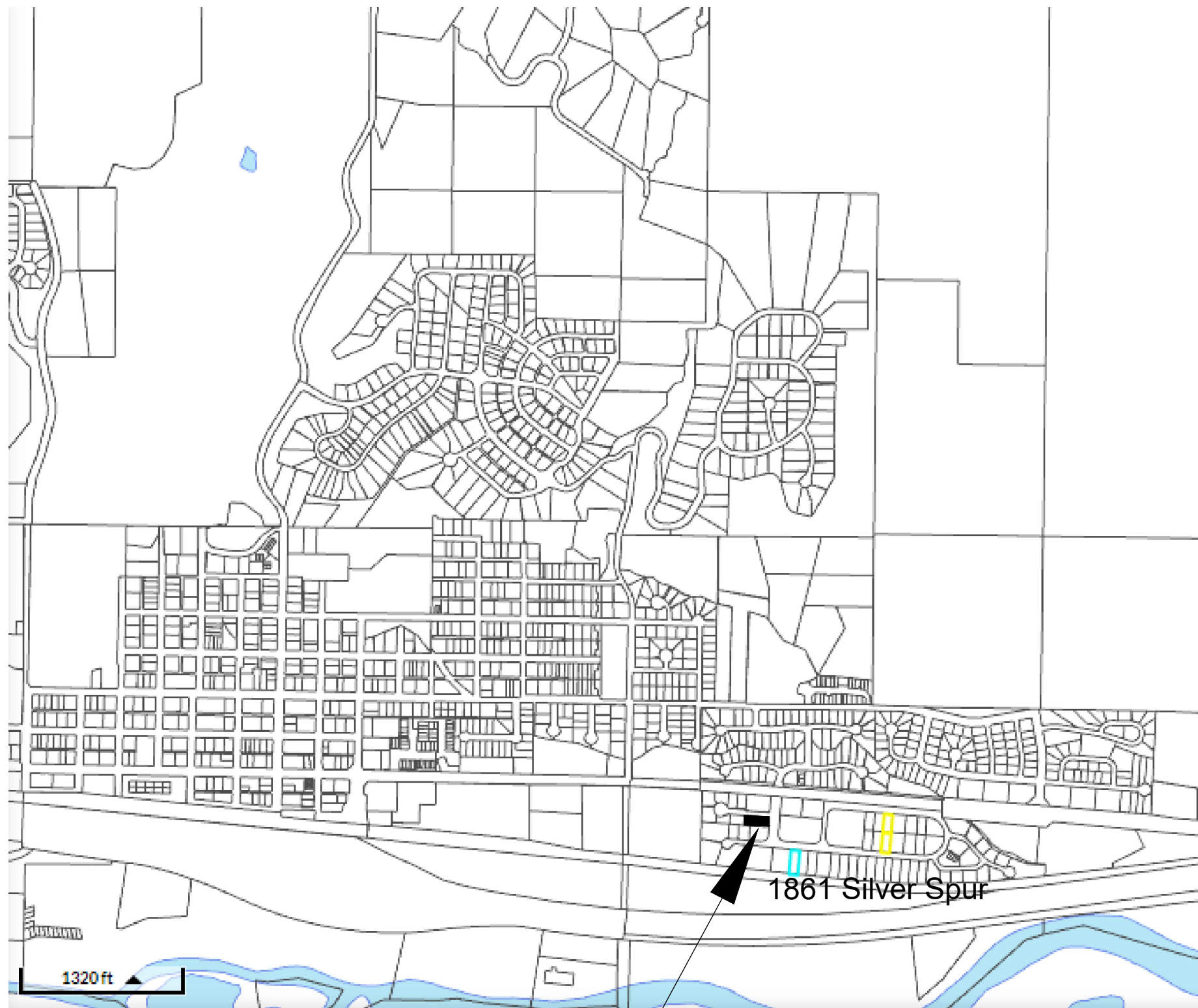
Energy Compliance: (all values are minimum requirements)  
Ceilings and Ceilings w/ raised trusses: R-40  
Walls Above Grade: R-20  
Walls Below Grade: R-11  
Floor over unheated spaces: R-11  
Slab Edge, 36" insulated: R-10  
Glazing Requirement: Double Glazing  
HVAC Ducts: R-8

Air Leakage:  
Exterior joints around windows and door frames, openings between walls and foundations and between walls and roof/ceilings and between wall panels, openings at penetrations of utility services through walls, floor and roofs and all other similar types of openings in the building envelope shall be caulked, gasketed, weather stripped, or otherwise sealed to prevent in a manner approved by the Building Official.

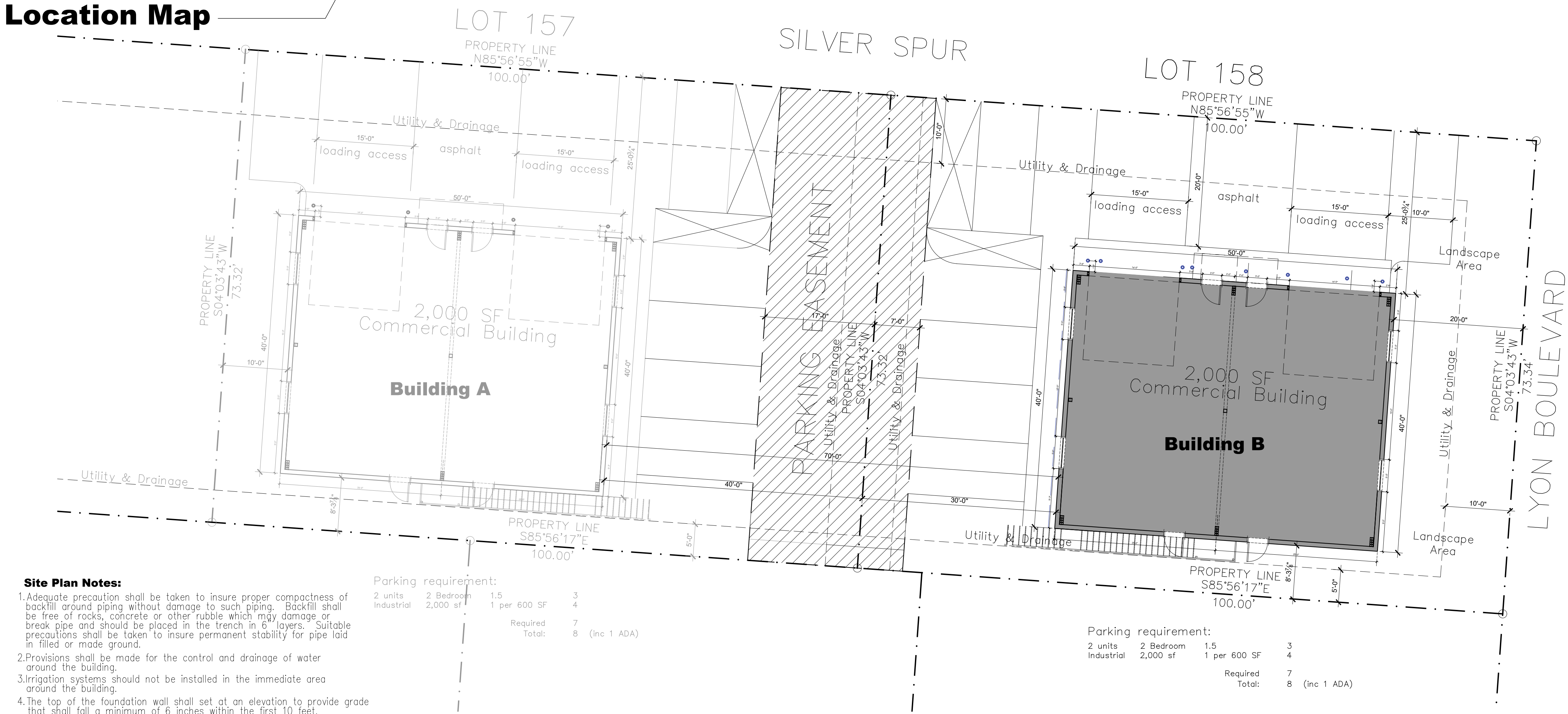
Vapor Retarder:  
Vapor retarders shall be installed in all non-vented framed ceilings and rafter spaces

Code references:  
2015 International Building Code  
2009 International Energy Conservation Code

All drawings, plans, and specifications are instruments of service provided by Jeff Johnson Architectural P.C. and remain the property of the Architect. These instruments of service may not be reused without written consent by Jeff Johnson Architectural P.C.



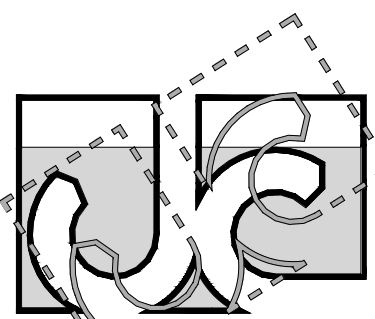
Location Map



Site Plan, Lot 158  
1861 Silver Spur  
Building B

Address 1861 SILVER SPUR  
Parcel No. 217911201157  
Account No. R006257  
Lot Size: 7,333 SF

scale: 1" = 10'-0"



Jeff Johnson  
Architectural PC

136 East Third Street  
Rifle, CO 81650  
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jeff@jjarchitectural.com  
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Lot 157A , Lyon Subdivision P.U.D.  
Silt, CO

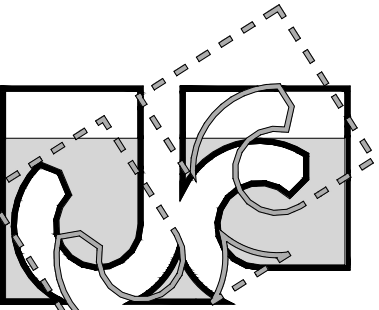
Site Plan Review

Notes,  
Site Plan

Date: 07-14-23  
2302A-07-14-23

CVR

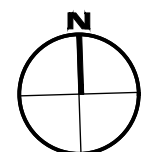
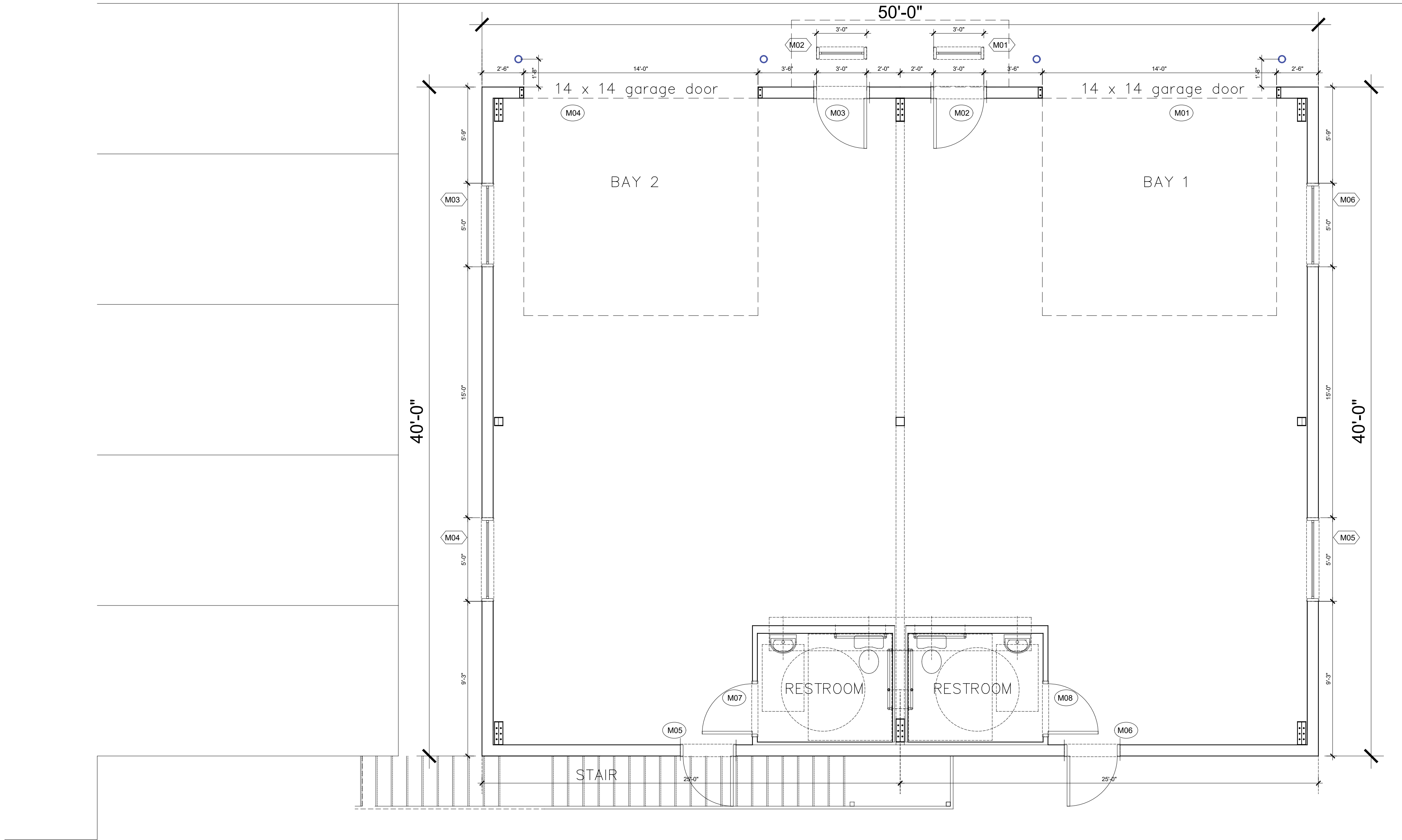




Jeff Johnson  
Architectural PC

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Rifle, CO 81650  
970-625-0580  
jeff@jjarchitectural.com  
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**JSN Properties Silt Building II, LLC**  
**Lot 158B, Lyon Subdivision P.U.D.**  
**Silt, CO**



1  
A21

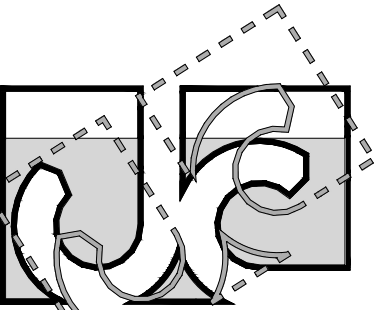
Main Floor Plan  
Building B

Scale 1/4" = 1'-0"



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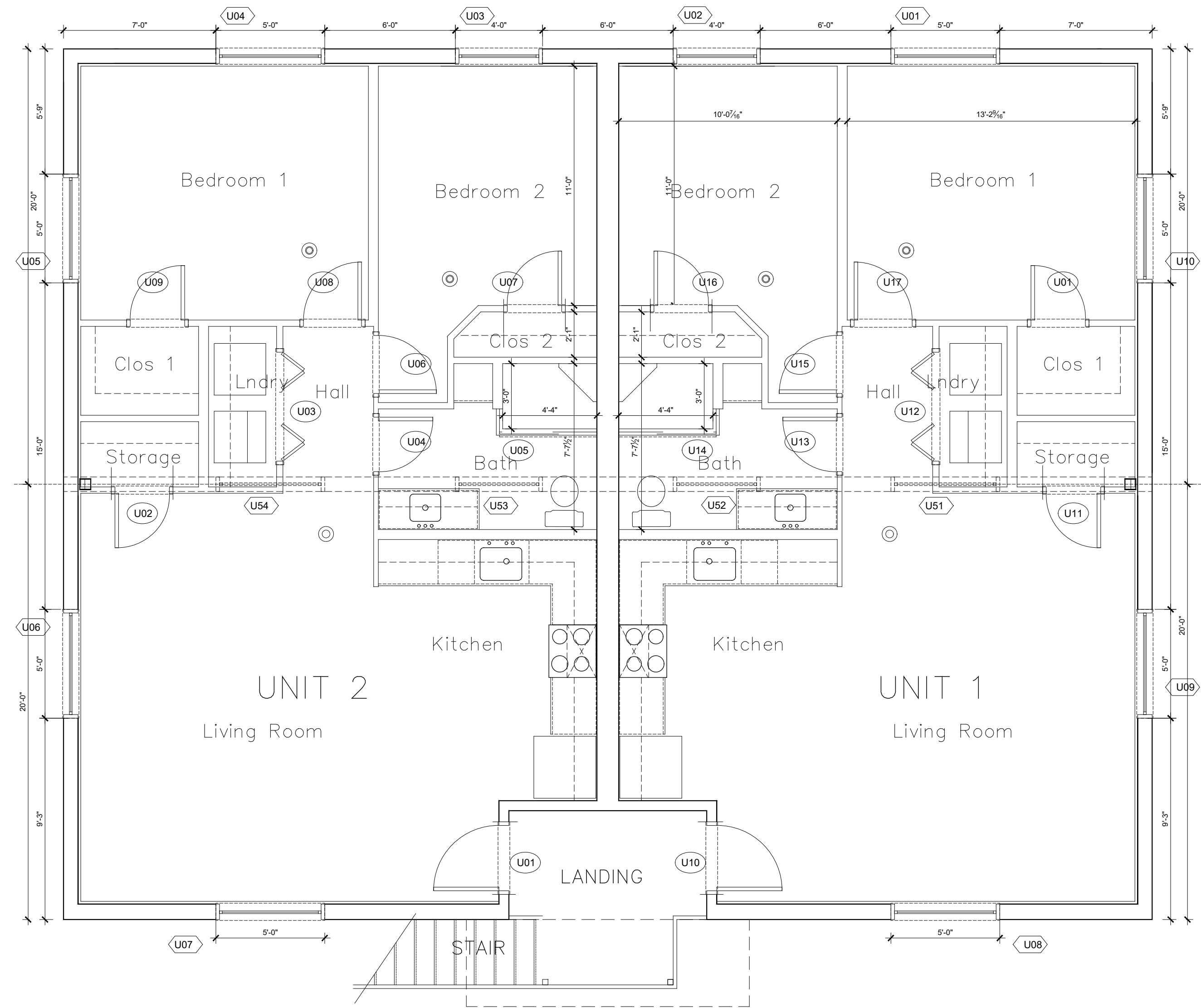
Site Plan Review
<b>Main Floor Plan</b>
Date: 07-14-23 2302A-07-14-23
<b>A21</b>



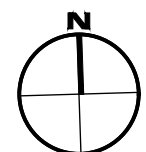
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1  
A22

Upper Floor Plan  
Building B

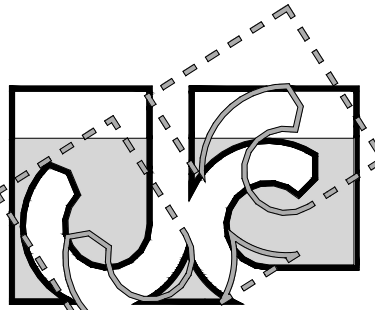
Scale 1/4" = 1'-0"



Site Plan Review
Upper Floor Plan
Date: 07-14-23 2302A-07-14-23
A22

Exterior Finish Legend

1	metal roof panel	Charcoal Gray
2	metal fascia	Charcoal Gray
3	door/window trim	Ash Gray and Polar White
4	exterior light	exterior light
5	corner trim	Ash Gray
6	steel frame	
7	metal wall panel	Ash Gray and Polar White
8	wall girt/ roof purlin location	
9	guard rail	painted: gray
10	handrail	painted: gray
11	metal wall wainscot	Kingspan Zinc Gray
12	stair tread	prefab galvanized tread
13	pre-engineered canopy	Charcoal Gray
14	transition flashing	Ash Gray
15	finish grade	
16	foundation below	



Jeff Johnson  
Architectural PC

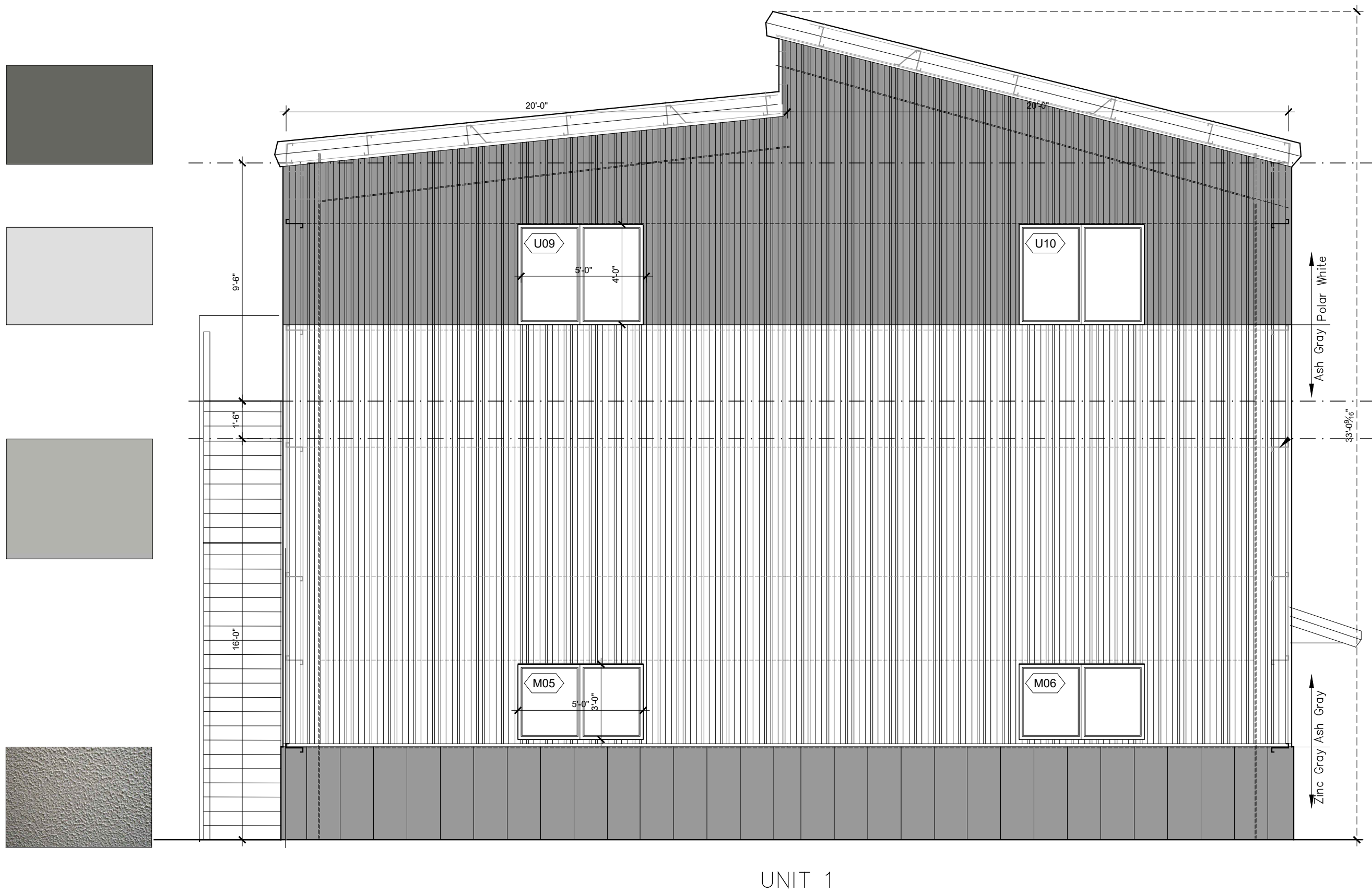
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Lot 158B , Lyon Subdivision P.U.D.  
Silt, CO



1 North Elevation (street side)

Scale 1/4" = 1'-0"



2 West Elevation

Scale 1/4" = 1'-0"

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Site Plan Review

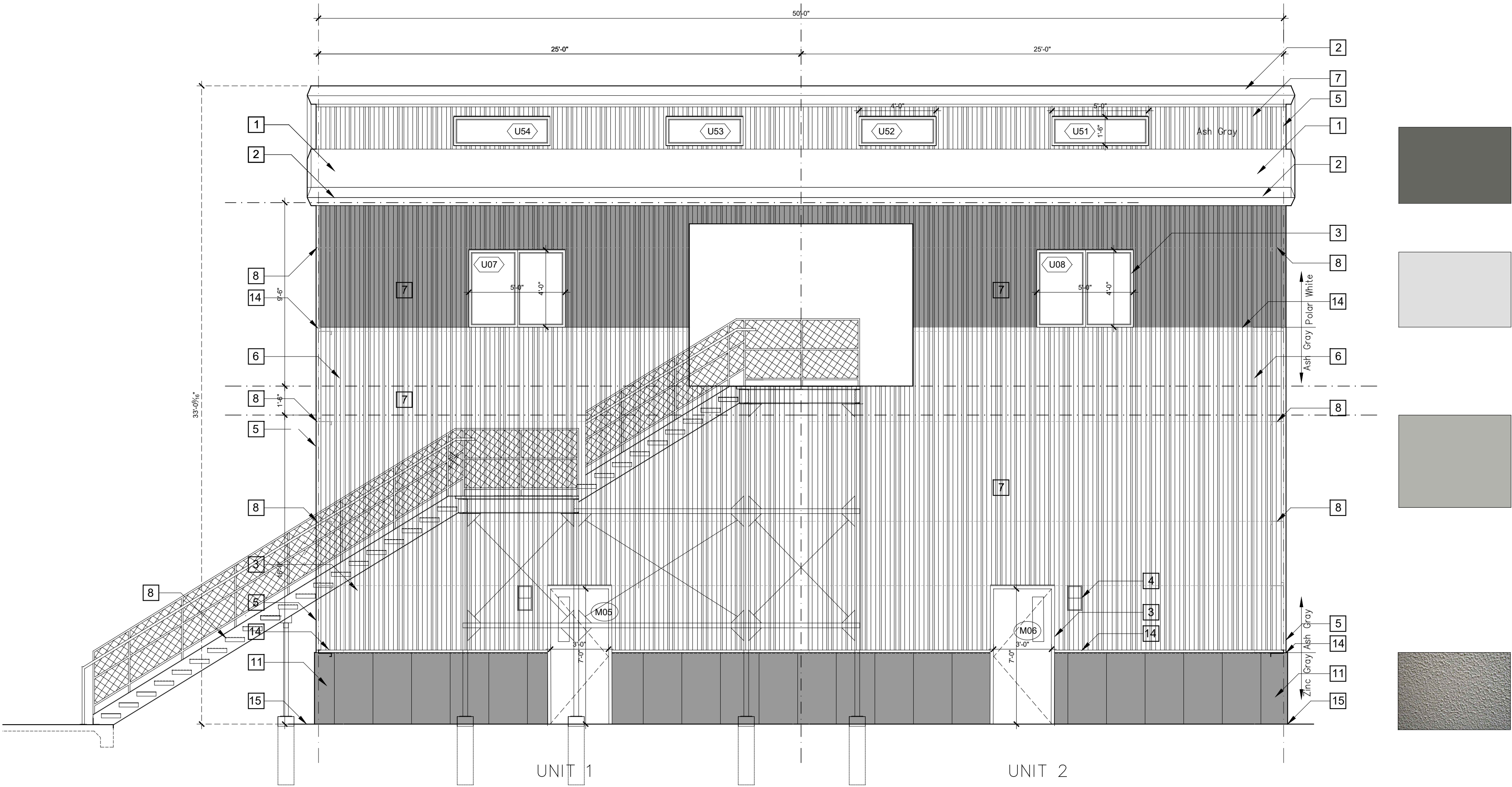
Exterior  
Elevations

Date: 07-14-23  
2302A-07-14-23

A31

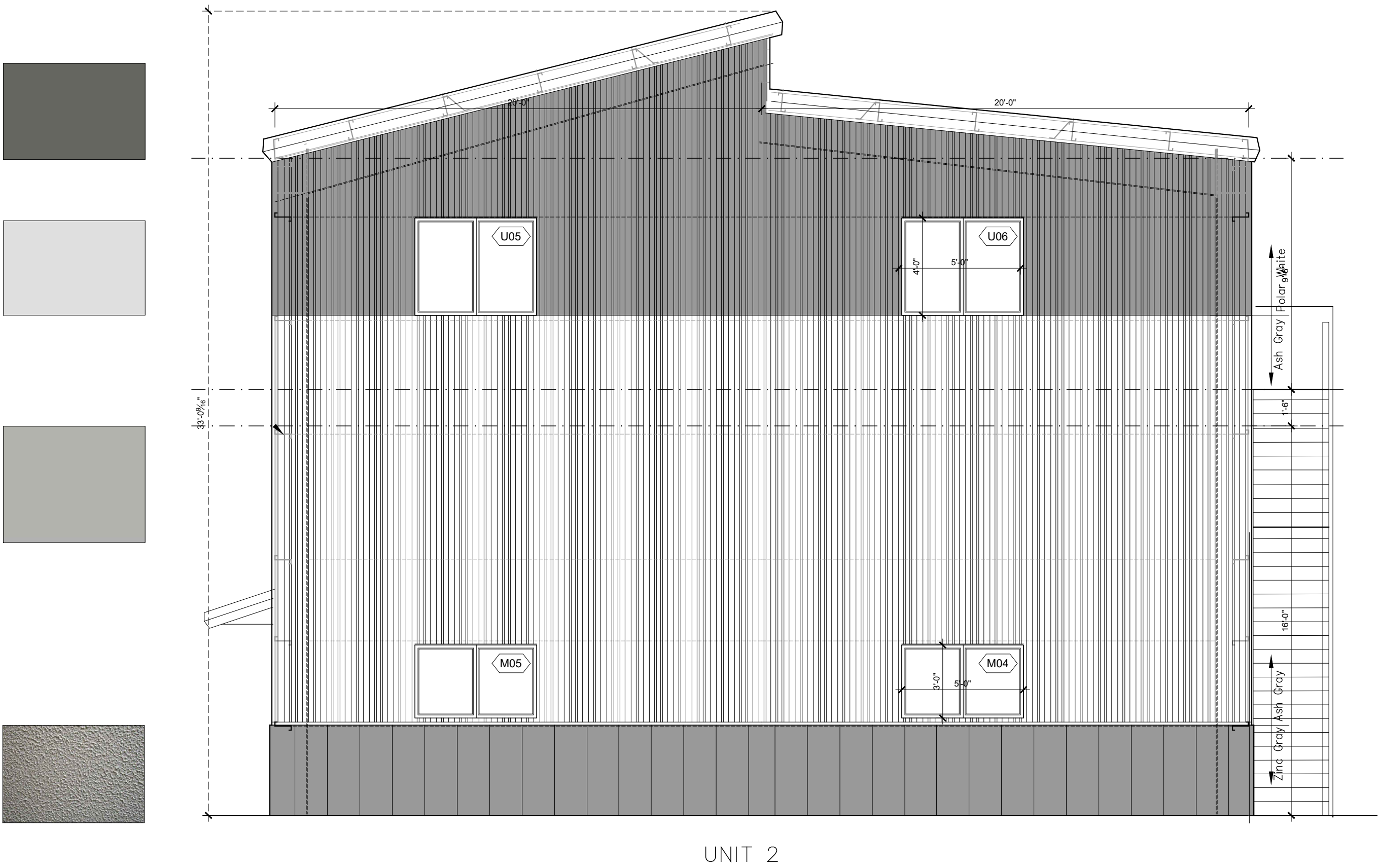
Exterior Finish Legend

1	metal roof panel	Charcoal Gray
2	metal fascia	Charcoal Gray
3	door/window trim	Ash Gray and Polar White
4	exterior light	exterior light
5	corner trim	Ash Gray
6	steel frame	
7	metal wall panel	Ash Gray and Polar White
8	wall girt/ roof purlin location	
9	guard rail	painted: gray
10	handrail	painted: gray
11	metal wall wainscot	Kingspan Zinc Gray
12	stair tread	pre-fab galvanized tread
13	pre-engineered canopy	Charcoal Gray
14	transition flashing	Ash Gray
15	finish grade	
16	foundation below	



1 South Elevation

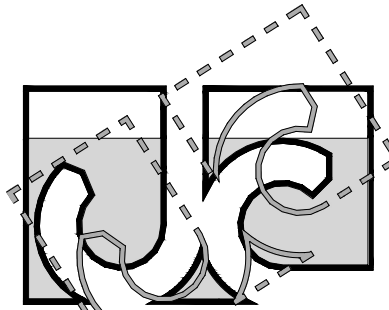
Scale 1/4" = 1'-0"



2 East Elevation

Scale 1/4" = 1'-0"

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Silt, CO

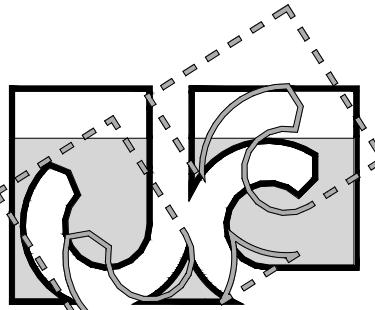
Site Plan Review

Exterior  
Elevations

Date: 07-14-23  
2302A-07-14-23

A32





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Architectural PC

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JSN Properties Silt Building II, LLC  
Lot 158B , Lyon Subdivision P.U.D.  
Silt, CO

Skyline Mechanical Window Schedule

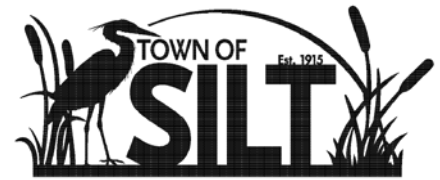
No.	Location Room	Type	Window Size (WxH)	Sill height	Head height	Manuf.	Mdl No.	Remarks
M01	Warehouse 1	Fixed	3'-0" x 3'-0"		13'-7"			
M02	Warehouse 2	Fixed	3'-0" x 3'-0"		13'-7"			
M03	Warehouse 2	Slider	5'-0" x 3'-0"		7'-0"			
M04	Warehouse 2	Slider	5'-0" x 3'-0"		7'-0"			
M05	Warehouse 1	Slider	5'-0" x 3'-0"		7'-0"			
M06	Warehouse 1	Slider	5'-0" x 3'-0"		7'-0"			
U01	Bedroom1: Unit 1	Slider	5'-0" x 4'-0"		7'-0"			egress
U02	Bedroom2: Unit 1	Slider	5'-0" x 4'-0"		7'-0"			egress
U03	Bedroom2: Unit 2	Slider	5'-0" x 4'-0"		7'-0"			egress
U04	Bedroom1: Unit 2	Slider	3'-0" x 4'-0"		7'-0"			egress
U05	Bedroom1: Unit 2	Slider	3'-0" x 4'-0"		7'-0"			
U06	Living Rm: Unit 2	Slider	5'-0" x 4'-0"		7'-0"			
U07	Living Rm: Unit 2	Slider	5'-0" x 4'-0"		7'-0"			
U08	Living Rm: Unit 1	Slider	4'-0" x 4'-0"		7'-0"			
U09	Living Rm: Unit 1	Slider	4'-0" x 4'-0"		7'-0"			
U10	Bedroom1: Unit 1	Slider	5'-0" x 4'-0"		7'-0"			
U51	Clerestory: Unit 1	Fixed	5'-0" x 1'-6"		13'-11 1/2"			
U52	Clerestory: Unit 1	Fixed	4'-0" x 1'-6"		13'-11 1/2"			
U53	Clerestory: Unit 2	Fixed	4'-0" x 1'-6"		13'-11 1/2"			
U54	Clerestory: Unit 2	Fixed	5'-0" x 1'-6"		13'-11 1/2"			

Skyline Mechanical Door Schedule

No.	Location		Door Size			Type	Mat	Core	Door		Finish Frm	Fire Rtnng	Hard ware	Remarks
	From	To	Wdth	Hght	Thk				Dr	Frm				
M01	Exterior	Warehouse 1	14'-0"	14'-0"	2"	Overhead Sectional	Metal	Insulated	Painted	Metal			Per Manufacturer	
M02	Exterior	Warehouse 1	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal			Lockset	safety glass
M03	Exterior	Warehouse 2	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal			Lockset	
M04	Exterior	Warehouse 2	14'-0"	14'-0"	2"	Overhead Sectional	Metal	Insulated	Painted	Metal			Per Manufacturer	
M05	Exterior	Warehouse 2	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal			Lockset	
M06	Exterior	Warehouse 1	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal			Lockset	
M07	Exterior	Warehouse 2	3'-0"	7'-0"	2"	Hinged Single	Wood	Wood	Painted	Painted			Privacy	
M08	Exterior	Warehouse 1	3'-0"	7'-0"	2"	Hinged Single	Wood	Wood	Painted	Painted			Privacy	
UNIT ONE	U01	Landing	Living Room	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal		Lockset/Deadbolt	
	U02	Storage	Living Room	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
	U03	Laundry	Hall	5'-0"	7'-0"	1-3/8"	Double Bifold	Wood	Wood	Stained	Painted		Pass thru	
	U04	Hall	Bath	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U05	Shower	Bath	2'-4"	7'-0"	3/8"	Track slider	Glass	Glass	Polished	Frameless		By Manufacturer	Safety Glass
	U06	Hall	Bedroom 2	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U07	Closet 2	Bedroom 2	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
	U08	Hall	Bedroom 1	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U09	Closet 1	Bedroom 1	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
UNIT TWO	U11	Landing	Living Room	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal		Lockset/Deadbolt	
	U12	Storage	Living Room	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
	U13	Laundry	Hall	5'-0"	7'-0"	1-3/8"	Double Bifold	Wood	Wood	Stained	Painted		Pass thru	
	U14	Hall	Bath	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U15	Shower	Bath	2'-4"	7'-0"	3/8"	Track slider	Glass	Glass	Polished	Frameless		By Manufacturer	Safety Glass
	U16	Hall	Bedroom 2	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U17	Closet 2	Bedroom 2	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
	U18	Hall	Bedroom 1	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U19	Closet 1	Bedroom 1	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	

Schedules





## Land Use Application Form

<input type="checkbox"/> Amended Plat	<input type="checkbox"/> Boundary Adjustment	<input type="checkbox"/> Subdivision Exemption
<input type="checkbox"/> Annexation	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Floodplain Development
<input type="checkbox"/> Final Plan	<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Vacation of Right-of-Way
<input type="checkbox"/> Text Amendment	<input checked="" type="checkbox"/> Site Plan Review	<input type="checkbox"/> Re-Subdivision Final Plan
<input type="checkbox"/> Easement Agreement	<input type="checkbox"/> Zoning or Rezoning	<input type="checkbox"/> Subdivision Improvement Agreement
<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Annexation & Development Agreement
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____	

**Project Name:** JSN Properties Silt Building B

**Project Description / Property Information:**

Address: 1861 Silver Spur, Silt, CO 81652 Parcel ID Number: 217911201157

Legal Description (*attach additional sheets if necessary*): \_\_\_\_\_

Lot 158 ; Lyon Subdivision PUD

Access to Property: Silver Spur

Acreage or Square Footage: 7,333 Existing Land Use Designation: B-1 or B-2 PUD Allowed

Proposed Land Use Designation: Service Business with Residential

Existing Zoning: B-1 or B-2 PUD Proposed Zoning: B-2 PUD

Proposed Use / Intensity of Use: Service Business(es) below; Two Residential Units above

**Submittal Requirements:**

- Initially, a completed application with original signatures and four copies shall be submitted to the department for review. The application shall include four sets of 24" x 36" plans, plats and other appropriate drawings. Application must also be submitted in electronic format (MS Word).
- In addition to this application, all information on the supplemental checklist must be submitted.
- Incomplete applications will not be accepted and will delay processing.
- When the documents are deemed adequate, additional copies as required by the department shall be submitted ten (10) days before the public hearing.
- All documents submitted for public hearing shall be hole-punched, collated and paper-clipped (no staples). All plans, plats or drawings shall be folded to 8 1/2" x 11" and inserted into the collated application. Each individual application shall be banded together and ready for public distribution.

**STAFF USE ONLY**

Pre-app conference: _____ (date)	Application received: _____ (date)
Application complete: _____ (date)	File Number: _____
Fees: _____	Referrals Sent: _____ (date)
Deposits: _____	PZC approval: _____ (date)
Paid: _____ (date)	BOT approval: _____ (date)

**Project Team Information** (fill in all that apply) *(add additional sheets of needed)*:Property Owner(s): Name: Justin & Shelli Nielsen Phone: 970-390-5301Company: JSN Properties Silt Building II, LLC Fax: \_\_\_\_\_Address: PO BOX 1258, Gypsum, CO 81637

Authorized Rep.: Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Company: \_\_\_\_\_ Fax: \_\_\_\_\_

Address: \_\_\_\_\_

Engineer/Designer: Name: Jeff Johnson Phone: 970-625-0580Company: Jeff Johnson Architectural, PC Fax: \_\_\_\_\_Address: 136 East Third Street, Rifle, CO 81650Billable Party: Owner X Representative \_\_\_\_\_ Engineer \_\_\_\_\_

The Billable Party, by signing below, hereby agrees to reimburse the Town the actual costs to the Town plus 15% administrative fees for all engineering, surveying and legal services rendered in connection with the review of the Application. The Billable Party shall also reimburse the Town for the cost of making any corrections or additions to the master copy of the official Town map and for any fees for recording any plats and accompanying documents with the County Clerk and Recorder of Garfield County. The Billable Party agrees that interest shall be imposed at a rate of 1.5% per month on all balances not paid within thirty (30) days of the date of the statement. In addition to any and all remedies available to the Town and in the event the Town is forced to pursue collection of any amounts due and unpaid, the Town shall be entitled to collect attorney's fees and costs incurred in said collection efforts in addition to the amount due and unpaid.

Justin or Shelli Nielsen § \_\_\_\_\_

Name (printed)

PO BOX 1258, Gypsum, CO 81637

Address

970-390-5301

Phone

Fax \_\_\_\_\_

Signature \_\_\_\_\_

Type of Identification \_\_\_\_\_

**Disclosure of Property Ownership**

\_\_\_\_\_ If owner is an individual, indicate name exactly as it appears on the deed.

X If owner is a corporation, partnership, limited partnership or other business entity, name principals on a separate page. Please include articles of organization, partnership agreement, etc., as applicable.

\_\_\_\_\_ If owner is a land trust, name beneficiaries on a separate page.

\_\_\_\_\_ If applicant is a lessee, indicate the owner(s) on a separate page.

\_\_\_\_\_ If applicant is a contract purchaser, attach a copy of the contract and indicate the owner(s) on a separate page.

*Please provide the name(s), mailing address(es), street address(es) and phone number(s) for all owners.*

### Property Owner Affidavit

I/We, JSN Properties Silt Building II, LLC, being first duly sworn, depose and state under penalties of perjury that I am (we are) the owner(s) of the property described herein and which is the subject of the application and proposed hearings; that all answers provided to the questions in this application, and all sketches, data and all other supplementary matter attached hereto and made part of this application are honest and true to the best of my (our) knowledge and belief. I (we) understand that this application must be complete and accurate prior to a hearing being scheduled. I (we) authorize Town staff to visit the site as necessary for proper review of this application.

(If there are special conditions such as guard dogs, locked gates, restricted hours, etc., please give the name and phone number of the person(s) who can provide access to the site)

Justin Nielsen

Name (printed)

PO BOX 1258

Gypsum, CO 81637

Address

970-390-5201

Phone

Fax

Signature

Type of Identification

County of \_\_\_\_\_)

State of \_\_\_\_\_)

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

(fill in day)

(fill in month)

(fill in year)

By \_\_\_\_\_  
(name printed)

Witness my hand and official seal.

Notary Public

My Commission expires: \_\_\_\_\_

Shelli Nielsen

Name (printed)

PO BOX 1258

Gypsum, CO 81637

Address

970-390-5201

Phone

Fax

Signature

ss.

(seal)

**Authorized Representative**

I/We further permit Jeff Johnson Architectural, PC to act as my/our representative in any manner regarding this application, to answer any questions and to represent me/us at any meeting(s) and public hearing(s) which may be held on this application.

NOTE: All correspondence will be sent to the authorized representative. It will be the representative's responsibility to keep the owner(s) adequately informed as to the status of the application.

Justin or Shelli Nielsen  
Name (printed)

PO BOX 1258

Gypsum, CO 81637  
Address

970-390-5201  
Phone

\_\_\_\_\_  
Fax

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Type of Identification

County of \_\_\_\_\_ )

State of \_\_\_\_\_ )

ss.

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ .  
(fill in day) (fill in month) (fill in year)

By \_\_\_\_\_  
(name printed)

Witness my hand and official seal.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_



## SITE PLAN REVIEW CHECKLIST

### Uses Requiring Site Plan Review.

All new construction for commercial and multi-family uses require a site plan review to determine conformance with the Silt Municipal Code (§ 127.42.050), including the following:

- New commercial construction (including additions to existing commercial buildings);
- Multi-family (three or more dwelling units within one building or on one lot);
- Uses that require a special use permit and site review are:
  - Transient merchants
  - Commercial or multifamily building with roof pitch not under 4:12; or
  - Commercial or multifamily building over 10,000 gross square feet.

### Submittal Documents for a Commercial/Multi-Family Site Plan include the following:

- ☐ Land Use Application, Site Plan Application and applicable fee;
- ☐ Site Plan in a scale of 1/8" = 1' that addresses the following:
  - Zoning of subject parcel and that land immediately adjacent to subject parcel;
  - Maximum lot coverage not exceeding 80%;
  - Maximum building height not exceeding 27 feet;
  - Streets constructed in conformance with SMC Section 16.04.390;
  - Building setbacks in conformance with SMC Section 17.44.020;
  - Concrete sidewalks no less than six (6) feet wide in multi-family and ten (10) feet wide in commercial;
  - Public pathway (trail) plan;
  - Building materials and designed in order to achieve and maintain high architectural standards and avoid boxy or monotonous industrial appearance;
  - Façade treatment on all sides of the building;
  - Landscaping plan in conformance with SMC Sections 17.42.090 through 17.42.190;
  - Loading/Receiving areas in conformance with SMC Section 17.42.200;
  - Number and location of off-street parking spaces in conformance with SMC Sections 17.42.190 and Chapter 17.56;
  - Pedestrian crossings in conformance with SMC Section 17.42.210;
  - Screening of parking, truck loading and receiving areas, outdoor storage, refuse containers and mechanical equipment in conformance with SMC Section 17.42.220;
  - Potable water service main (or service line);
  - Sanitary sewer service main (or service line);
  - Drainage plan;
  - Erosion and sediment control plan;

***Silt Municipal Code Chapter 17.42 sets forth the Design Review Criteria for Commercial and Multifamily Structures.***

---

### 17.42.055 Application process.

- A. An applicant for commercial or multifamily site plan review shall provide such written information on the land use application form and on forms provided by the town, plus any other supplemental information needed to convey information to the commission, including the following:
1. A description of the proposed land use(s);  
Applicant requests, in addition to a service businesses with warehouse space allowed per Silt Trade Center Ordinance, allowing two employee housing units (on Lot 158); as allowed per Silt Trade Center Ordinance.
  2. A statement of the planning objective(s);  
Applicant would like to provide needed affordable housing options for employees of the warehousing units offered by this development
  3. A description of adjoining land use(s) and zoning;  
Adjoining Land uses are Silt Trade Center P.U.D B-2 Uses; Owners currently have a service building on Lot 156, directly West of the property.
  4. Existing zoning of the subject property;  
Silt Trade Center P.U.D; B-1 and B-2 Uses
  5. A statement regarding the proposal's conformance with the comprehensive plan and zoning; and  
Proposed structure complies with Silt Trade Center P.U.D; it's land use is allowed, and the property zoning allows proposed use
  6. A site plan map(s) depicting all proposed land use, including utilities, landscaping, structures, parking, and other development of any kind.

Refer to attached Site Plan

Below is an **example** of a Public Notice to be submitted to the newspaper and sent by certified, return receipt mail to property owners within 200 feet. The minimum public notice requirements are as follows:

Variances:	No less than 7 days prior to public hearing
All applications regarding a Planned Unit Development:	No less than 15 days prior to public hearing
Special Use:	No less than 15 days prior to hearing
Subdivision Exemption:	No less than 7 days prior to public hearing
Preliminary Plan:	No less than 7 days prior to public hearing
Comp Plan Amendment, Sketch Plan, Zoning, Rezone, Final Plan:	No less than 15 day prior to public hearing

Public Notices shall be published once per week, in a newspaper of general circulation, no less than the number of days as listed above. Public Notices to adjoining property owners shall be sent certified, return receipt and post-

### **Public Notice**

You are hereby notified that the Town of Silt Planning & Zoning Commission/Board of Trustees will conduct a Public Hearing to consider the following application. The Public Hearing will be held on \_\_\_\_\_, 200\_\_ at 7:00p.m. in Council Chambers at Silt Town Hall, 231 N. 7<sup>th</sup> Street.

Applicant:

Application Request:

Legal Description: (brief legal description is sufficient)

Common Description: (street address or general location)

For more information, contact the Town of Silt Community Development Department; PO Box 70, 231 N. 7<sup>th</sup> Street or call 970/876-2353. Please provide the name of the applicant and other notice information when asking department staff about this notice.

## TOWN OF SILT, PROOF OF PUBLIC NOTICE AND CERTIFICATE OF MAILING

Project: JSN Properties Silt Building II

I HEREBY AFFIRM THAT Public Notice requirements of the Silt Municipal Code have been met for the Public Hearing before the Silt Planning & Zoning Commission/Board of Trustees to be held on \_\_\_\_\_, 200\_\_.

In addition, I hereby affirm that on \_\_\_\_\_ day of \_\_\_\_\_, 200\_\_, I mailed first class, certified return receipt, a true copy of the attached Public Notice by placing the same postage prepaid in the United States Mail at \_\_\_\_\_, Colorado, addressed to those property owners on the attached list.

Attached are:

1. Certificate(s) of Mailing (green cards and return receipts)
2. Proof of publication from a newspaper of general circulation within the Town showing that prior to the meeting, the Public Notice was advertised as required per Silt Municipal Code.
3. List of names and mailing addresses of all surrounding property owners within 200 feet of subject property.

Justin or Shelli Nielsen

\_\_\_\_\_  
Name of Applicant (printed)

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

County of \_\_\_\_\_ )

)

ss.

State of \_\_\_\_\_ )

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ .  
(fill in day) (fill in month) (fill in year)

By \_\_\_\_\_  
Name (printed)

Witness my hand and official seal.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_



## LAND USE APPLICATION FEES

Application	Fee	Deposit	SMC Section
Annexation	\$1,200	\$400	16.13.040
Annexation & Development Agreement amendment	\$400	\$400	16.13.130
Boundary Adjustment/Lot Line	\$100	\$0	16.04.907
Condominiumization	See Major	Subdivision	16.05.110
Easement Agreement and Amendments	\$500	\$500	2.44.110
Intergovernmental Agreement and Amendments	\$500	\$500	2.44.100
Major Subdivision-Sketch Plan	\$500	\$500	16.04.120
Major Subdivision-Preliminary Plan	\$800	\$800	16.04.180
Major Subdivision-Final Plan	\$500	\$500	16.04.270
Sign Exception	\$70	\$0	
Fence Exception	\$70	\$0	
Replat or Re-subdivision	\$500	\$0	16.04.945
Site Plan Review- Commercial/Multi-Family	\$500	\$0	17.42.030
Special Use Permit	\$250	\$0	17.78.040
Minor Subdivision-Sketch/Final	\$500	\$500	16.04.906
Subdivision Improvement Agreement Amendment	\$400	\$400	16.04.315
Vacation of Right of Way	\$400	\$400	2.44.120
Zoning Variance	\$250	\$0	17.84.080
Zoning or Rezoning	\$500	\$100	16.12.410

***\*Deposits must be included with application submittal. The deposit is used as security for department staff and consultant time to review the project application. Applicant shall also pay for fees and charges incurred by the town, such as legal fees, planning fees, engineering fees, and filing or recording fees, plus an administrative fee of 15% of the total consultant charges.***

### ATTACHMENTS/EXHIBITS MUST BE COMPLETE FOR SUBMITTAL.

Incomplete applications **will not** be reviewed until deemed complete.

### **Checklist below for Office use only.**

- 1] \_\_\_\_\_ A legal description of the property.
- 2] \_\_\_\_\_ Evidence of legal ownership. May be a deed, title commitment, title insurance policy, or attorney's opinion of ownership.
- 3] \_\_\_\_\_ Letter of consent. Required if the Applicant is not the property owner.
- 4] \_\_\_\_\_ List of property owners within 200 feet. Call Garfield County Assessor's Office at 970/ 945-9134 for information.
- 5] \_\_\_\_\_ Impact statement (description of how the proposed land use complies with the Town of Silt Municipal Code and Comprehensive Plan).
- 6] \_\_\_\_\_ A copy of the completed application in electronic format (Microsoft Word).
- 7] \_\_\_\_\_ A diskette, compatible with the Town of Silt GIS system, must be submitted before final recording of land use action. Mylars will not be signed prior to submittal of GIS disk. (For GIS information, call the Community Development Department, (970)876-2353.) Please do not print Final Plat Mylars until you receive approval by Town staff.

# Town of Silt Community Development

231 N. 7<sup>th</sup> Street, Silt Colorado 81652; (970)876-2353 ext. 108



## LAND USE ACTIVITY IMPACT STATEMENT

Name of Applicant: Justin or Shelli Nielsen Date: 07-14-23

Location of Property: 1845 Sliver Spur, Silt, CO

Land Use Request: Site Plan Review

Please answer the following questions to the best of your ability. Attach additional pages as needed.

1. Is your request compatible with the Silt Municipal Code? Yes/No

2. Is your request compatible with the Silt Comprehensive Plan? Yes/No

If not, how is your request useful to the Town of Silt?

3. Explain how your request is compatible with the immediate area surrounding the site.

Proposed structure complies with Silt Trade Center P.U.D; it's land use is allowed, and the property zoning allows proposed use

4. How is your request desirable for the Town of Silt?

Applicant would like to develop 2 residential units for local workers and provide trade warehouse space on this Lot.

5. Detail any real or possible environmental, town service, or other impacts your request may have.

No apparent negative impact

6. Are there or have there ever been any landfills on any part of the property included in your request? Yes/ No

7. Please mark all the concerns or impacts listed below which apply to your request and give a brief statement about how you have addressed them.

no concerns

- a. \_\_\_\_\_ traffic
- b. \_\_\_\_\_ town services (water, sewer, etc.)
- c. \_\_\_\_\_ signage
- d. \_\_\_\_\_ open space
- e. \_\_\_\_\_ schools
- f. \_\_\_\_\_ emergency services (police, fire, medical)
- g. \_\_\_\_\_ other utilities (electrical, etc.)
- h. \_\_\_\_\_ other (pollution, etc.)

Please list any other items or information which you feel would be of help in assessing your application.

**Town of Silt Planning Commission Meeting**

**September 5, 2023 6:30 PM**

**Lot 157 Silt Trade Center – Site Plan Review**

**Planner's report**

**8/25/2023**

<b>Name of Project</b>	Lot 157 Silt Trade Center - Site Plan Review
<b>Applicant/Owner</b>	JSN Properties PO Box 1258 Gypsum, CO 81637 970.390.5301
<b>Owner Representative/ Land Planner</b>	Jeff Johnson, Architect
<b>Civil Engineer</b>	None Designated
<b>Project Attorney</b>	None Designated
<b>Architect</b>	Jeff Johnson Architectural PC 136 East 3 <sup>rd</sup> Street Rifle, CO 816 50 970.625.0580
<b>Water Engineer</b>	NA
<b>Property Location</b>	1845 Silver Spur
<b>Existing Zoning</b>	PUD – B-2 with B-1 Architectural, Site Planning and Landscaping Criteria
<b>Surrounding Land Uses</b>	<b>West</b> – Vacant and light Industrial <b>North</b> – Vacant and Light Industrial <b>South</b> – Light Industrial <b>East</b> – Vacant
<b>Surrounding Zoning</b>	PUD – B1 and B2
<b>Proposed Use</b>	1 <sup>st</sup> floor – 2,000 SF warehouse/Light Industrial 2 <sup>nd</sup> Floor – 2 residential Apts. - 975 SF each
<b>Area of Parcel Subject to application</b>	7,333 SF
<b>Existing Use</b>	Vacant –
<b>Silt Comprehensive Plan</b>	Service and Commercial Support
<b>Parcel Numbers</b>	2179-112-01-156
<b>Legal Description</b>	Lots 157 of the Amended Plat of Lots 83,95,125,129,130,152 – 158 of the Amended Final Plat of the Lyons Subdivision PUD. - according to the plat recorded as Reception # 775409

### ***I. Description of Request***

Applicant is proposing to build a 2000 square-foot service business essentially designed as warehouse/industrial space along with two apartments on the upper level. Each apartment is approximately 975 ft.<sup>2</sup>. Each of the apartments are 2-bedroom units. The property is located on Silver Spur in the Silt Trade Center. The property is currently vacant. It is proposed to be designed and built in tandem with the adjacent lot to the east – Lot 158 in the Silver Trade Center. Please note that the building has two garage bays which will access off of Silver Spur. The design also features a common driveway/access between Lots 157 and 158; so they will be sharing an access easement built along the boundary between the two properties. Approval assumes that a parking/access/maintenance easement will be recorded where use and obligations are enumerated anticipating that these lots will eventually be sold separately in the future.

### ***II. Recent Project History***

This property was subject to the discussion at the July Planning Commission meeting. At that time, the owner's representative participated and we discussed the possible consolidation of the two lots. After discussion and conferral with the property owner, direction was given that preserving the right to build a total of 4 residential units was a top priority and therefore the consolidation is not going forward. Each of these lots are coming forward for a Site Plan Review at the same meeting. The buildings are basically mirror images of each other.

Most of you are aware of the history of the Silt Trade Center and we went into some depth at the July meeting with a memo, information from past staff reports and the current PUD zoning ordinance for this portion of the Trade Center.

### ***III. Silt Comprehensive Plan***

No extensive analysis or description necessary. The entire area is in conformance with the Silt Comprehensive Plan

### ***IV. Property***

#### ***V.***

The property is located in the western portion of the Silt Trade Center and is located on the south side of Silver Spur West of Lyon Boulevard. Access will be from Silver Spur. The property is 7333 ft.<sup>2</sup>. Utilities are of course available to the property and water/wastewater services should have been stubbed out with initial provision of infrastructure.

The property is relatively flat and my research indicates that there was no previous construction on the site. As noted earlier, access to the Garage Bays will be from Silver Spur as well as the joint parking/access easement proposed. Please see location and site plan attached.



General Notes:

The purpose of these drawings is to graphically depict the general nature of the work to be performed. The Contractor shall confirm dimensions and select fabrication processes and techniques prior to construction.

All construction and materials shall be in accordance with all applicable codes, ordinances, laws, permits, and contract documents.

The contractor shall be responsible for the accurate placement of all new construction.

The contractor shall confine his or her operations on the worksite to those areas previously agreed on with the owner.

All materials stored on site shall be properly stacked and protected to prevent damage and deterioration. Failure to protect material may be cause for rejection of work.

The Contractor shall review locations of light fixtures and other recessed ceiling and wall elements prior to framing for proper placement of these items.

The contractor shall verify all field dimensions and conditions, and shall notify the architect of any variations from those items shown herein.

The jobsite shall be maintained in a clean, ordered condition, free of debris and litter. The jobsite shall not be unreasonably encumbered with any materials or equipment. Each subcontractor, immediately upon completing each phase of his or her work, shall remove all trash and debris as a result of his or her operation.

The contractor shall do all cutting, fitting or patching of his or her work that may be required to make its several parts to fit together properly. The contractor shall not endanger any other work by cutting, excavating, or otherwise altering the total work or any other part of it. All patching, repairing and replacing of materials and surfaces cut or damaged in execution of work shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces.

Mechanical subcontractor shall be responsible for designing and installing a code compliant heating and ventilation system. Plumbing subcontractor shall be responsible designing and installing a code compliant water, drain lines, and proper venting. Electrical subcontractor shall be responsible for designing and installing a code compliant electrical system.

The Contractor shall provide all necessary blocking, backing, and framing for bathroom accessories, handrails, guardrails, electrical fixtures, mechanical equipment, recessed items, and any other items, as required.

Refer to truss manufacturer's submittal for truss package details. Truss manufacturer to provide pre-engineered roof trusses and floor joists to provide compliance with Structural Engineer and IRC conventional construction provisions under the following min. loading characteristics:  
40 PSF Roof Snow Load, per truss manufacturer  
40 PSF Floor Live Load  
60 PSF Balcony Load, if applicable

The Contractor shall be responsible for arranging all necessary inspections required by Town of Silt prior to covering any such portions of work.

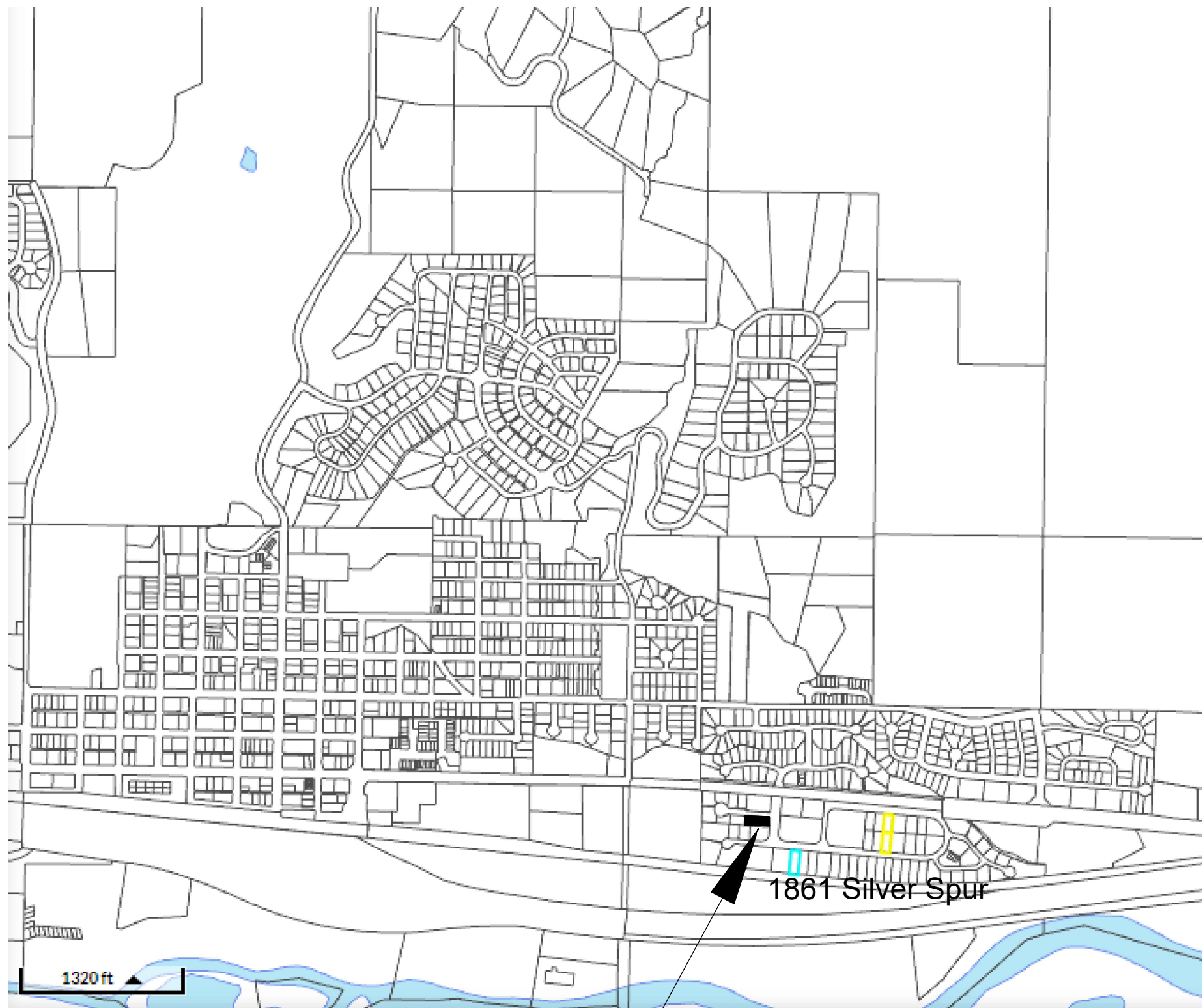
Energy Compliance: (all values are minimum requirements)  
Ceilings and Ceilings w/ raised trusses: R-40  
Walls Above Grade: R-20  
Walls Below Grade: R-11  
Floor over unheated spaces: R-11  
Slab Edge, 36" insulated: R-10  
Glazing Requirement: Double Glazing  
HVAC Ducts: R-8

Air Leakage:  
Exterior joints around windows and door frames, openings between walls and foundations and between walls and roof/ceilings and between wall panels, openings at penetrations of utility services through walls, floor and roofs and all other similar types of openings in the building envelope shall be caulked, gasketed, weather stripped, or otherwise sealed to prevent in a manner approved by the Building Official.

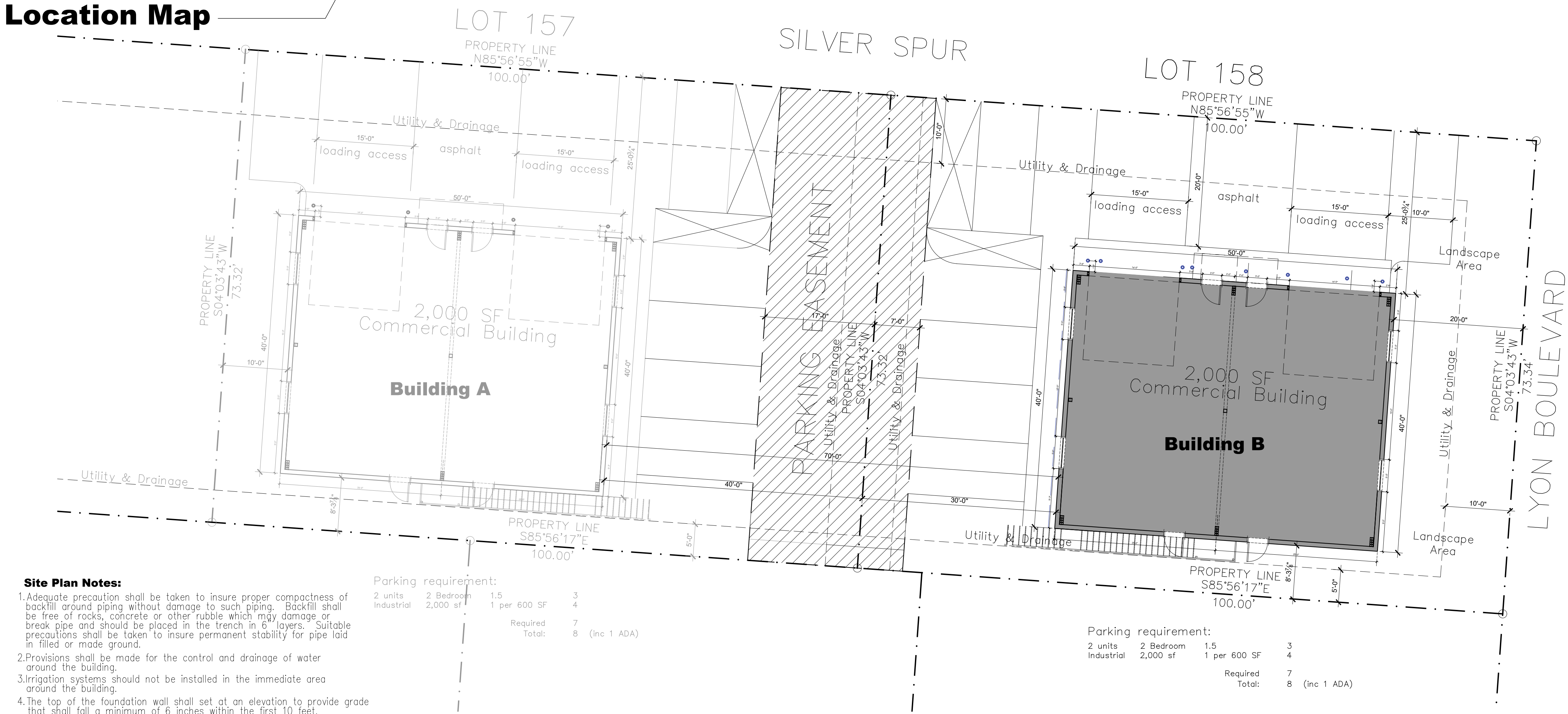
Vapor Retarder:  
Vapor retarders shall be installed in all non-vented framed ceilings and rafter spaces

Code references:  
2015 International Building Code  
2009 International Energy Conservation Code

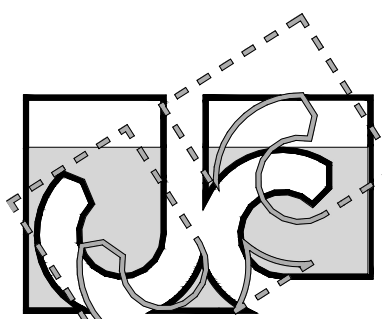
All drawings, plans, and specifications are instruments of service provided by Jeff Johnson Architectural P.C. and remain the property of the Architect. These instruments of service may not be reused without written consent by Jeff Johnson Architectural P.C.



Location Map



Address 1861 SILVER SPUR  
Parcel No. 217911201157  
Account No. R006257  
Lot Size: 7,333 SF



Jeff Johnson  
Architectural PC

136 East Third Street  
Rifle, CO 81650  
970-625-0580  
jeff@jjarchitectural.com  
Copyright 2023

JSN Properties Silt Building II, LLC  
Lot 157A , Lyon Subdivision P.U.D.  
Silt, CO

Site Plan Review

Notes,  
Site Plan

Date: 07-14-23  
2302A-07-14-23

CVR



## **VI.     *Applicable Municipal Code Sections.***

All new commercial development in the Town undergoes a Site Plan Review Process for the development. The Site Plan Review process is outlined in Chapter 17.42 of the Silt Municipal Code. I am listing applicable code sections below, but in instances where there is new construction in the Silt Trade Center staff relies heavily on the final PUD document for the Silt Trade Center. This is attached and is Ordinance 19 – Series of 2008. As you know, the Planning Commission is the decision-making body for the Site Plan Review process. Appeals of the Commission’s decision or individual conditions of approval go to the Board of Trustee’s.

The Commission is charged with approving the application as presented, approving with conditions, denying the application or continuing the hearing until a date certain. I am providing a draft Resolution of Approval for your review. It can be modified during the meeting as necessary. You may also have conditions which you may have staff review and approve if plans need to be updated or if you wish changes to be made.

### Relevant Code Sections: (for a normal Commercial Site Plan Review)

- 17.42.060 -     Uses requiring a Special Use Permit and Site Plan Review in all commercial districts
- 17.42.100       Intent of Landscape Design Guidelines
- 17.42.120       Site Plan and Design Standards
- 17.42.130       Grading
- 17.42.140       Public Rights-of-way
- 17.42.150       Perimeter Landscaping
- 17.42. 170      Landscaping Installation
- 17.42.190       Off – Street Parking Requirements

## **VII.     *Review Agency Comments***

**We did not send this particular application for a site plan review to the various agencies as the subdivision was laid out and platted a few decades ago and all infrastructure is installed.**

## **VIII.    *Site Plan Issues***

### Access

**Planners comment:** Acceptable. Both the shared parking and access to the Garage bay doors are from Silver Spur. Driveways are paved with asphalt. Please note that the PUD Ordinance allows vehicles utilizing Silver Spur to back out onto Silver Spur. That is not true of many of the other roadways within the Silt Trade Center. Access is compliant.

#### Site Layout

**Planner's Comment.** Building is compliant with all site layout standards. Setbacks meet ordinance requirements

#### Parking

**Planner's Comment.** Parking is provided per town code. 7 spaces are required and 8 are provided. Parking space dimensions, vehicle access aisles etc. are also code compliant.

#### Architecture

Planners Comments:

- Please note that this is a metal building but metal siding is not allowed for this particular lot. This lot, while it was rezoned as part of ordinance 19 – 2008 and changed to B-2 (Industrial), it retained B-1 development and architectural guidelines. Therefore, in working with the applicant they will be providing a stucco exterior for the building. They have chosen an Ash color for the main portion of the siding with a zinc color for the lower level wainscoting. Roofing will be a charcoal gray color. Color sheets attached. **Not only does this help you envision the colors, but it also allows you to pick another color if you do not wish both of these buildings to be built in tandem with the same color palette. The color appears adequate to the planner.**
- Height. The building comes in at 30 feet in height. 30 foot is the height limit. Compliant.
- Elevations. Updated elevations are provided for you. Please note that the east and west building elevations are quite plain with the exception of a few windows. When buildings are 60 feet in length there are required "breaks/changes in patterns" to give it a little bit of architectural interest. These buildings do not meet that size criterion. However, you may want some small break or color change to add a little visual interest because these side elevations are still substantial in size. The front and the rear appear to have enough action going on between bay doors, and trees, exterior stairways etc.

**(Note: this architectural update and color sheets were specified for Lot 158 but they apply to both Lot 157 & 158. The east elevation of the building at Lot 158 would be the west elevation for this particular building)**

#### Landscaping

**Planner's Comment.** There is a draft landscape plan attached for your review. The architect wishes for me to remind you that it is a draft. Most of the planting species indicated are those listed acceptable for the Silt Trade Center. I've also asked the architect to work on a little screening for the patio areas which are at either the southeast or southwest corner of these two particular buildings. I have recommended that each of the residential tenants have a small sitting area, whether that be in the patio or as part of a

second story deck or balcony etc. He is working on a concept to help provide some privacy and will present it at the hearing. As you know, we are trying to have all accessory in multifamily residential housing units have private open space.

### Storage

**Planner's Comment.** No outdoor storage is indicated. If that changes, storage areas must be accompanied by a code compliant screening fence.

**Miscellaneous Site plan Review Comments:** The architecture and material seem to be appropriate for the location. Landscaping is being provided and parking and access acceptable. You may have your own thoughts on whether the east or west building elevations need a little touchup.

### **IX. Planner Recommendation:**

Staff finds that the building and site are being developed in general compliance with the regulations of the Silt Trade Center and in the spirit of the commercial site plan review standards. Staff recommends **APPROVAL** of the proposed commercial with the associated residential apartments with the following conditions.

1. All representations of the applicant made in writing, application materials and verbally at the Planning Commission meeting or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.
2. All exterior lighting in the project shall conform to the Town of Silt lighting standards.
3. That the landscaping plan be acceptable to the Community Development Department and that there be adequate private open space provided for the residential tenants. Final Landscape Plan should indicate the irrigation system.
4. Any outdoor storage requires a permit and shall be adequately screened by code compliant screening fence.
5. That the applicant's representative work with Town Staff to have an adequate parking/maintenance/easement agreement and document prepared which shall be recorded in the Garfield County Clerk and Records Office along with the Resolution of Approval (these can be recorded at separate times if appropriate).
6. That all land-use related fees and other items with Town Consultants be paid prior to issuance of the Building Permit.

***X. Recommended Motion:***

**I move to approve the site plan review for Lot 157 of the Silt Trade Center with the staff recommended conditions by adoption of Resolution 2- Series of 2023. (Any modifications or additional conditions made by the Planning Commission should be added to this motion).**

**TOWN OF SILT  
RESOLUTION NO.  
PZ-3 SERIES OF  
2023**

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SILT APPROVING THE SITE PLAN REVIEW FOR Lot 157 OF THE SILT TRADE CENTER IN THE TOWN OF SILT, GARFIELD COUNTY, STATE OF COLORADO, SUBJECT TO CONDITIONS.**

**WHEREAS**, JSN Properties has requested a Site Plan Review for property located at Lot 157 of the Silt Trade Center according to the plat recorded as Reception # 775409 with a full legal description included in Exhibit A; and

**WHEREAS**, the proposed permitted use is subject to Site Plan Review procedures contained in Chapter 17.42 of the Silt Municipal Code and also subject to Ordinance 19 – Series of 2008; and

**WHEREAS**, the Planning and Zoning Commission of the Town of Silt reviewed this application at a public hearing at the September 5, 2023 Planning and Zoning Commission meeting; and

**WHEREAS**, the Planning and Zoning Commission of the Town of Silt finds the following with respect to the Site Plan Review:

- A. The proposal for a service business with the building designed with 2000 ft.<sup>2</sup> of commercial space and 2 Bedroom Apartments can be accommodated on the subject property without exposure to unmitigated hazards.
- B. The proposed development has adequate ingress and egress from Silver Spur
- C. The proposal meets the criteria as indicated in Chapter 17.42 of the Silt Municipal Code and the criteria outlined in Ordinance 19 – Series of 2008;

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SILT, COLORADO**, that the site plan review application submitted by JS and properties is hereby approved, subject to the following conditions:

**INTRODUCED, READ, PASSED AND ADOPTED** at a regular meeting, of the Planning and Zoning Commission of the Town of Silt, Colorado held on the 5th day of September, 2023.

1. All representations of the applicant made in writing, application materials and verbally at the Planning Commission meeting or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.
2. All exterior lighting in the project shall conform to the Town of Silt lighting standards.
3. That the landscaping plan be acceptable to the Community Development Department and that there be adequate private open space provided for the residential tenants. Final Landscape Plan should indicate the irrigation system.
4. Any outdoor storage requires a permit and shall be adequately screened by code compliant screening fence.
5. That the applicant's representative work with Town Staff to have an adequate parking/maintenance/easement agreement and document prepared which shall be recorded in the Garfield County Clerk and Records Office along with the Resolution of Approval (these can be recorded at separate times if appropriate).
6. That all land-use related fees and other items with Town Consultants be paid prior to issuance of the Building Permit.

ATTEST:

TOWN OF SILT

\_\_\_\_\_  
Chair: Lindsey Williams

\_\_\_\_\_  
Planner Mark Chain



**Exhibit A**  
**Legal Description**

Lot 157 of the amended plat of lots 83, 86, 125, 129, 130, 152, 156 and 157 And  
the Composite Plat Map of the Silt Trade Center recorded as Reception #  
775409

## **EXHIBITS**

Ordinance – 19- Series of 2008

Landscape Plan

Color Palette

Updated Elevations for Lot 157 (also applies to Lot 158 – but with east and west elevations reversed)

Technical Prints from Application

Application Forms

**TOWN OF SILT  
ORDINANCE NO. 19  
SERIES OF 2008**

**AN ORDINANCE TO AMEND AND RESTATE THE LYON SUBDIVISION PLANNED UNIT DEVELOPMENT GUIDELINES (HEREINAFTER "PUD GUIDELINES"), ALSO KNOWN AS THE SILT TRADE CENTER, IN ORDER TO BETTER CLARIFY ALL REVISIONS TO THE PUD GUIDELINES TO DATE, AND TO ALLOW FOR B-1 PUD LOTS 78A, 78B, 79, 125 THROUGH 128 INCLUSIVE, 130, 131, 141, 148, AND 152 THROUGH 158 INCLUSIVE, TO BECOME B-2 PUD IN USE, WHILE STILL REQUIRING THE B-1 PUD ARCHITECTURAL, SITE PLANNING AND LANDSCAPING CRITERIA FOR THESE MENTIONED LOTS.**

**WHEREAS**, the Local Government Land Use Control Enabling Act of 1974, §§29-20-101, et seq., C.R.S.; Article 23 of Title 31, C.R.S.; and other applicable laws grant broad authority to the Town of Silt, Colorado ("Town") to plan for and regulate the development and use of land on the basis of the impact thereof on the community and surrounding areas; and

**WHEREAS**, on or about May 1, 2008, Kelly and Michael Lyon Family LLC (hereinafter "Applicant") submitted a rezoning application to the Town of Silt (hereinafter "Town") requesting that certain lots within the Lyon Planned Unit Development (otherwise known as the Silt Trade Center) and specifically known as B-1 PUD Lots 78A, 78B, 79, 125 through 128 inclusive, 130, 131, 141, 148 and 152 through 158 inclusive (hereinafter "Subject Lots") revert to B-2 PUD lots in use, while still maintaining the B-1 PUD architectural, site planning and landscaping features; and

**WHEREAS**, the Applicant received support for this application from the owners of 61 of the 82 lots within the Silt Trade Center, as evidenced in the Applicant's submittal; and

**WHEREAS**, this ordinance amends and replaces only the "Commercial Business Park" guidelines as stated on Sheet 1B of the Lyon Subdivision Planned Unit Development Final Subdivision Plat, and does not affect the residential portion of the planned unit development; and

**WHEREAS**, on or about July 1, 2008, the Planning & Zoning Commission (hereinafter "Commission") considered the application and recommended to the Board of Trustees (hereinafter "Board") approval of the rezoning request and PUD amendment within conditions as noted in this ordinance; and

**WHEREAS**, on or about July 28, 2008, the Board considered the rezoning and PUD amendment application at a duly noticed public hearing, pursuant to the Silt Municipal Code ("Code") and pertinent Colorado Revised Statutes; and

**WHEREAS**, on or about August 11, 2008, the Board determined that the proposed rezoning for the Subject Lots is consistent and in conformity with the existing pattern of zoning within the Silt Trade Center and within the Town, with the Town's Comprehensive Plan, as amended, and that the proposed amendment and restatement of the PUD Guidelines will clarify for the Town, the Applicant and the property owners within the Silt Trade Center the uses and restrictions, and convey to the Town, the Applicant and the property owners within the Silt Trade Center the uses and restrictions of the PUD Guidelines; and

**WHEREAS**, the Board is granted broad authority by State Statutes and its home rule charter in order to provide for the health, safety and welfare of its citizens; and

**WHEREAS**, Section 16.12.580 of the Silt Municipal Code (hereinafter "Code") requires that the Board adopt an ordinance setting forth said Board's findings of fact and conclusions prior to approval of the subject rezoning and PUD amendment application.

**NOW, THEREFORE BE IT RESOLVED BY THE BOARD OF TRUSTEES OF THE TOWN OF SILT, COLORADO, THAT:**

### **Section 1**

#### **The PUD Guidelines ("Guidelines")**

The Guidelines shall be amended and restated as follows:

The following designated lots are within the Silt Trade Center PUD, subject to these conditions: Lot 78A, 78B, 79 through 158;

The following designated lots are B-1 PUD lots: Lot 129, Lots 132 through 140, inclusive;

The following designated lots are B-2 PUD lots with B-1 PUD architectural, site planning and landscaping criteria, as prescribed by this ordinance: Lots 78A, 78B, 79, 125 through 128, inclusive, 130, 131, 141, 148, 152 through 158 inclusive;

- A. Permitted Uses: To provide alternative development standards that will encourage a variety of development including the following and other similar uses as permitted by the Town of Silt:

B-1 PUD Uses

- 1) Convenience Store with or without drive-through
- 2) Day Care Center
- 3) Bank with or without drive-through
- 4) Laundromat
- 5) Office Building
- 6) Retail Business with or without drive-through
- 7) Restaurant with or without drive-through
- 8) Food Store with or without drive-through
- 9) Church
- 10) Library
- 11) Retail Gas Station
- 12) Hotel/Motel
- 13) Professional Business
- 14) Movie Theater
- 15) Bowling Alley

B-2 PUD Uses

- 1) Self-Storage Unit(s)
- 2) Fire Station
- 3) Service Business
- 4) Auto Repair Shop
- 5) Construction Business
- 6) Light Manufacturing Business
- 7) Wholesale Business
- 8) Lumber Yard
- 9) Cabinet Shop with or without manufacturing
- 10) Car Wash

\*Note: B-1 PUD uses can be placed upon any lot within the Silt Trade Center.

As to Lots 78A, 78B, 79, 125 through 128, inclusive, 130, 131, 141, 148, 152 through 158 inclusive, the following uses are specifically excluded: there shall be no Retail Gas Stations, Self-Storage Units, Car Wash, or Auto Repair Shops.

- B. Minimum lot area: 7,000 square feet;
- C. Minimum lot frontage to a public and allowable access: 30 feet;
- D. Minimum lot depth: 80 feet (Does not apply to Lots 78A, 78B, 155, 156, 157 and 158;
- E. Minimum lot width: 50 feet (Does not apply to Lots 78A or 78B);
- F. Maximum building height: primary structure: No building may be taller to the ridge than 35 feet above the original ground elevation or 100 year flood plain, whichever is greater. Lots within 100 year floodplain are designated on recorded plat. Construction in 100 year floodplain shall meet the current adopted building code, as adopted by Town of Silt. It is each individual lot owner's responsibility to determine the requirements of the Town of Silt.
- G. Minimum setbacks:

1. Front and street side yards: 20 feet from all street rights-of-way or private access easements, except buildings on lots adjacent to State Highway 6 may be ten (10) feet from the State Highway 6 right-of-way.

2. Side and rear yards: Buildings may be built to lot lines on one side if the adjoining building is 10 feet or more from the adjoining lot line or if the adjoining lot is vacant. No two buildings shall be within ten feet of each other. If more than one lot is owned by the same party, it shall be considered as one lot for setback purposes. Union Pacific Railroad (UPRR): No building shall be constructed nearer than 30 feet from the right-of-way of the UPRR.

H. Utility and drainage easements: There are to be reserved easements encumbering each lot herein for the purpose of construction and maintenance of utility and drainage facilities as follows:

1. There shall be a ten (10) foot wide utility and drainage easement along all street rights-of-way, including State Highway 6;

2. There shall be a five (5) foot wide utility easement along the south (rear) lot lines of Lots 125-130 and a five (5) foot utility easement along the west lot line of Lot 130;

3. There shall be a ten (10) foot wide utility and drainage easement along the west boundaries of Lots 124 and 135 and a ten (10) foot wide utility and drainage easement along the east boundary of Lot 97;

4. There shall be a ten (10) foot wide utility easement along the west boundary of Lot 87, for a distance of 128.73 feet, more or less;

5. There shall be a thirty (30) foot wide utility and drainage easement from the edge of the Union Pacific Railroad right-of-way, to all those lots adjacent to and north of the Union Pacific Railroad; and

6. Other easements as shown on the Final Plat dated \_\_\_\_\_.

I. Off-street parking:

1. All off-street parking lots shall be paved and the minimum requirements of the Town of Silt as to the number of spaces required shall be met.

2. All parking in the Silt Trade Center shall be designed to accommodate entrance and exiting from the lot in a forward motion of the vehicle, unless an alternative site plan is approved by the Town. See Section I.4 for Silver Spur requirements below.



3. Two driveways will be allowed per common ownership, but additional driveways may be allowed by the Town upon request by lot owner.

4. All parking areas in the front yard setback shall be separated from the right-of-way with a landscaped area which shall be a minimum width of 10 feet in the B-1 PUD areas and 6 feet in the B-2 areas, measured perpendicular to the right-of-way. Area of the right-of-way between the pavement and property line is to be landscaped. All front yards in the B-1 PUD and B-2 PUD, exclusive of parking and driveways, shall be landscaped. Lots upon Silver Spur may have parking areas within the twenty (20) foot wide setback area so long as the 10% lot landscaping is maintained on these lots. Vehicles may exit from these lots by backing onto Silver Spur.

5. Rock cover may be used in the landscaped area. Any rock cover area shall have as a minimum a weed barrier being five (5) mils or greater in thickness. Landscape plans shall be submitted to the Town along with building permit applications;

J. Construction materials.

1. All structures shall be constructed of new materials and shall be of brick, brick veneer, stone, manufactured stone, lumber, stucco, decorative concrete block, cedar siding or metal sheeting.

2. Exterior metal sheeting siding is not allowed within B-1 PUD District. Metal sheeting on roofs is allowed but no galvanized roofing material is allowed. All exposed metal sheeting is to be painted in earth tone colors only.

3. Unfinished and/or non-painted cinderblock or cement shall not be used for exposed walls.

4. All construction shall be in conformance with the latest adopted building Code as adopted by the Town of Silt.

5. All construction on lots 78A, 78B, 79, 125 through 128, inclusive, 130, 131, 141, 148, and 152 through 158 inclusive shall be built to the following standards.

a. Building materials and design shall be selected by the applicant in order to achieve and maintain high architectural standards and to avoid boxy or monotonous industrial appearances. The following techniques will help achieve this effect:

1. Adding thoughtful architectural design elements into each building that may include:

- a. Varying and intersecting the rooflines;
- b. Adding dormers, porches, cantilevers, covered walkways, etc.;
- c. Adding architectural detailing to trim work, lighting, windows, doors, soffit and fascia;

2. Using a variety of complementary quality building materials and techniques to add interest and artistic appeal to the building that may include, but shall not be limited to: stucco, wood, brick, stone, untreated metal, architectural block and/or architectural concrete.

b. The building design shall contribute to the character of the zone district and to the community by the thoughtful use of materials, sizing, elements, features, color ranges, and of activity areas specific to the site, proposed uses and surrounding land uses.

c. Facade treatment shall be implemented in order for each building to be architecturally interesting. In order to avoid the effect of a single, long, or massive wall, the following additional standards shall apply:

1. Building bays wider than sixty feet shall be visually established by architectural features that can include but not be limited to: columns, ribs or pilasters.

2. No building wall that faces a street or connecting walkway shall have a blank, uninterrupted length of more than sixty feet without containing at least two of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines, or an equivalent element that subdivides the wall.

3. All sides of the building shall include materials and design characteristics consistent with those on the front. Use of inferior or substandard quality materials for side or rear facades shall be prohibited. The sides and backs of buildings shall be as visually attractive as the front through the design of rooflines, architectural detailing, and landscaping features.

4. Base treatments shall be one of the following:

- a. Integrally textured materials such as stone or other masonry;
- b. Various textured material combinations such as stone/wood, stone/stucco, wood/stucco, brick/wood or any such combination;
- c. Integrally colored and patterned materials such as

smooth rock, granite or tiles;

d. Various colored and patterned materials such as mullions, panels or planters; and

e. Design patterns such as ledges, sills, headers, parapets or other wall variations.

5. Treatments on or near the top of the building must be recognizable from any street, parking lot or open space and consist of one of the following: cornice treatments, other than just colored "stripes" or "bands", with integrally textured materials such as stone or other masonry, or differently colored materials; sloping roof with overhangs and brackets; or stepped parapets.

6. Exterior building materials shall be high-quality material including, but not limited to: brick, sandstone or other native stone, wood siding, stucco or tinted/textured concrete masonry units.

K. Housing:

1. No structure of a temporary or permanent character, mobile home, trailer, basement, tent, shack, garage, barn or any other outbuildings of any description shall be used on any lot as a residence unless compliant with this section;

2. Lots 78A, 78B, 79, 125 through 128 inclusive, 130, 131, 141, 148, 152 through 158 inclusive may have up to two housing units per lot when proposed as an accessory use to the main commercial use, without the need of a special use permit for a maximum of 36 units. All other lots may have two housing units per lot, with a special use permit. All housing units shall be subject to a parkland dedication in-lieu fee of \$868.84 per unit at building permit. Such fee will escalate 6% annually as set forth in the Silt Municipal Code.

3. A housing unit is defined as having at least one bathroom, one kitchen and one or more bedrooms. This section does not apply to hotels and/or motels, which are permitted uses in both B-1 PUD and B-2 PUD districts. Parking space requirements are defined by the Silt Municipal Code as adopted at the time of site plan review.

L. Commercial sign code: All signs shall conform to Chapter 17.60 of the Silt Municipal Code, unless approved by the Planning & Zoning Commission through the sign exception process.

M. Animals:

1. No animals, livestock or poultry of any kind shall be raised, bred or kept on any lot for any purpose, except dogs and cats per Chapter 6.04 of

the code and small caged (or aquarium) animals normally kept as household pets

2. No animal may run at large.

3. The number of dogs and/or cats per housing unit shall be per Chapter 6.04 of the Silt Municipal Code.

N. Solid Fuel Burning Systems and Oil Burning Systems: No solid fuel burning systems or oil burning systems are to be permitted within the Silt Trade Center PUD.

O. No unsightliness: No unsightliness shall be permitted. Without limiting the generality of the foregoing:

1. Lots in the B-1 PUD District shall be allowed outside storage with a solid fence six (6) feet high with the same materials as the siding on the building on the B-1 PUD lot, so long as the outside storage is located behind the building or on the side the building and is not highly visible from State Highway 6. ;

2. Excluding those lots that are to be rezoned by this ordinance from B-1 PUD to B-2 PUD, all other B-2 PUD lots with outside storage must have a neat and well maintained 6 foot high minimum chain link screened fence with green mesh screening or as approved by the Town of Silt;

3. All broken windows must be replaced immediately;

4. No lot shall be used as a dumping ground for garbage or refuse. Dumpsters must be enclosed on three sides. Dumpsters cannot be located in front yard or side yard adjoining a street.

5. All lot owners shall maintain whatever landscaping installed, even if the building is vacated;

6. All landscaping shall be kept in a healthy and well-kept condition. Landscaping is a requirement of this ordinance and shall meet the minimum standards at all times after initial installation. Landscaping shall be checked for compliance prior to issuance of any permit including but not limited to new sign permits or business permits. It shall be the responsibility of the owner of the lot to assure compliance.

P. No nuisances including annoying lights, sounds or colors. All activities, lights, sounds and colors shall be in conformance with Chapter 17.49 of the Silt Municipal Code. No persistent noise in excess of fifty decibels dB

shall be detectable beyond the property line before 7:00 AM or after 10:00 PM.

- Q. Utility lines: All utilities, including but not limited to: gas lines, power lines, cable TV, and telephone shall be placed underground. Under-grounding should not be limited to individual service lines to the homes and businesses, but apply to all lines.
- R. Access to State Highway 6: No lot shall have direct access to State Highway 6 or across the railroad right-of-way.
- S. Landscaping requirements.
1. A minimum of 10 percent of each lot within the Silt Trade Center will be landscaped. Areas to be landscaped include front and street side yards;
  2. Lots along the railroad right-of-way are required to plant a 1 ½" diameter or greater tree for visual screening every 20 feet on center within the landscape buffer zone. Trees shall not interfere with the drainage easement along the southern property boundary of Lots 86 through 97. A minimum of four 1 ½" diameter or greater trees and eight 1 gallon shrubs per lot will be planted;
  3. Lots 78B, 79, 136, 152, 153 and 154, when developed will be required to landscape the 10 foot setback area from State Highway 6 with one 1 ½" diameter or greater tree for every 2,000 square feet of the setback zone area. The setback area will meet the requirements as outlined under Item "H" for front yards. Lots 78B, 79, 136, 152, 153 and 154 will provide two 1 ½" diameter or greater trees and two one gallon shrubs for landscaping for every 1,200 square feet of floor space developed.
  4. Landscaping shall be assured by a deposit provided to the Town at the time of issuance of a building permit. Said deposit shall be \$250.00 for all lots within the B-1 PUD and B-2 PUD Districts and released upon installation of landscaping which meets or exceeds minimum standards as stated in this ordinance.
  5. All materials binding the trunk or root ball must be removed prior to planting. Any tree or shrub not surviving after one year from planting will be replaced at owner's expense. All plantings must be made within one growing season.
  6. Trees suggested for this development are:

- a. Austree (willow);
  - b. Flowering crabapple;
  - c. Hybrid cottonless cottonwood;
  - d. Fruit trees;
  - e. Ponderosa pine;
  - f. Lombardy poplar;
  - g. Maple;
7. Trees not permitted in this development:
- a. Cottonwood (female);
  - b. Elm;
- T. Site plan requirements. Each lot proposed as a commercial unit shall submit to the Town of Silt a detailed site plan showing at a minimum the following:
- 1. Structure location on the lot and setbacks from property lines;
  - 2. Designated parking areas;
  - 3. A landscaping plan showing the areas designated for landscaping, exterior fencing showing type of construction and height;
  - 4. If construction occurs during a time when planting of vegetation is not practical, then certain assurances (\$250.00 deposit) to the Town of Silt will be made to guarantee that the proposed landscaping improvements will be made;
  - 5. Compliance with height, construction material(s) and setback restrictions;
- U. The water service to Lot 137 shall be limited to commercial uses not requiring a fire protection system or other potential uses that require larger than a ¾ - inch service line.
- V. That all new or revised easements, in particular the Drainage and Utility Easement that was amended by Ordinance 26, 1998, be indicated on the new plat and a note preventing placement of materials that may impede proper storm water runoff

## **Section 2**

All ordinances heretofore passed and adopted by the Board of Trustees of the Town of Silt, Colorado are hereby repealed to the extent that said ordinances, or parts thereof, are in conflict therewith.

**Section 3**

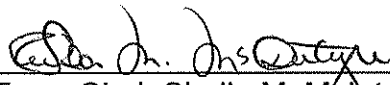
If any section, subsection, clause, phrase or provision of this Ordinance, or the application thereof to any person or circumstance, shall to any extent, be held by a court of competent jurisdiction to be invalid, void or unconstitutional, the remaining sections, subsections, clauses, phrases and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and shall in no way be affected, impaired or invalidated.

**INTRODUCED, READ AND APPROVED ON FIRST READING**, a public hearing, this 11<sup>th</sup> day of August 2008, at 7:00 p.m. in the Municipal Building of the Town of Silt Colorado.


**PASSED, APPROVED ON SECOND READING, ADOPTED AND ORDERED PUBLISHED** following a continued public hearing this 25<sup>th</sup> day of August, 2008.

ATTEST:

TOWN OF SILT

  
Town Clerk Sheila M. McIntyre MC












  
Mayor David C. Moore





### PLANTING LEGEND

COMMON NAME	BOTANICAL NAME	AMOUNT	SIZE		
 PONDEROSA PINE	PINUS PONDEROSA	6	10' B&B	 IRRIGATED SOD	866 SF
 REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2	2" CALIPER	 SEEDED GRASSES	791 SF
 RED SUNSET MAPLE	ACER RUBRUM 'RED SUNSET'	8	2" CALIPER	 OUTDOOR PATIO	564 SF
 PEKING COTONEASTER	COTONEASTER LUCIDUS	33	#5	 4"-6" COBBLE	806 SF
				 3/4" ROUND WASHED GRAVEL	543 SF

08-27-23



**Preliminary Landscape Plans**  
**Skyline Mechanical**  
**Silt, Colorado**



## ▼ Select Wall Color

Hunter Green



Ash Gray



Burnished Slate



Charcoal Gray



Hawaiian Blue



Koko Brown



Light Stone



Polar White



Rustic Red



Saddle Tan



Galvalume



Black



## ▼ Select Roof Color

Hunter Green



Ash Gray



Burnished Slate



Charcoal Gray



Hawaiian Blue



Koko Brown



Light Stone



Polar White



Rustic Red



Saddle Tan



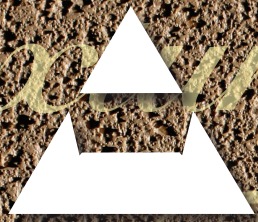
Galvalume



Black







# Strukturoc, Inc.

*Textured Wall Systems*

## *Signature*

*Textured Wall Panels*

(STK 2000, STK 3000) (STK 2500)



- Signature panels are available in 24 standard textured colors and a variety of custom colors.
- The profile is a tongue and groove system with hidden fasteners. One of the strongest wall panels at 20 gauge, stands up to harsh environments while offering a 20 year warranty against fade and chalking.
- The customer will receive the look of stucco with the strength of steel.
- Signature wall panels are easily applied by those persons erecting the building structure. This alone saves you money and eliminates the need for additional contractors on site, along with possible delays due to scheduling.
- Year round installation without tenting for heat will also save expense to the project.
- Signature wall panels are manufactured to your building specifications resulting in lower cost of erection and more timely completion of your project.
- The Signature textured panels are the perfect choice for new construction and renovation projects of all sizes.



NOTE: colors printed on this page may not exactly match actual panel colors. Please request panel swatches for true color match.  
\*These colors also available in the Classic panel\*  
Custom colors available upon request.

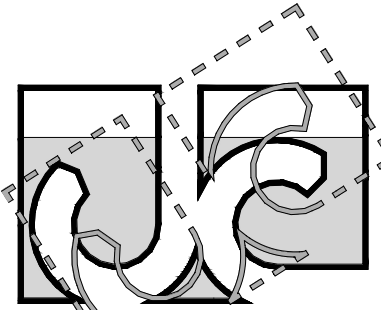
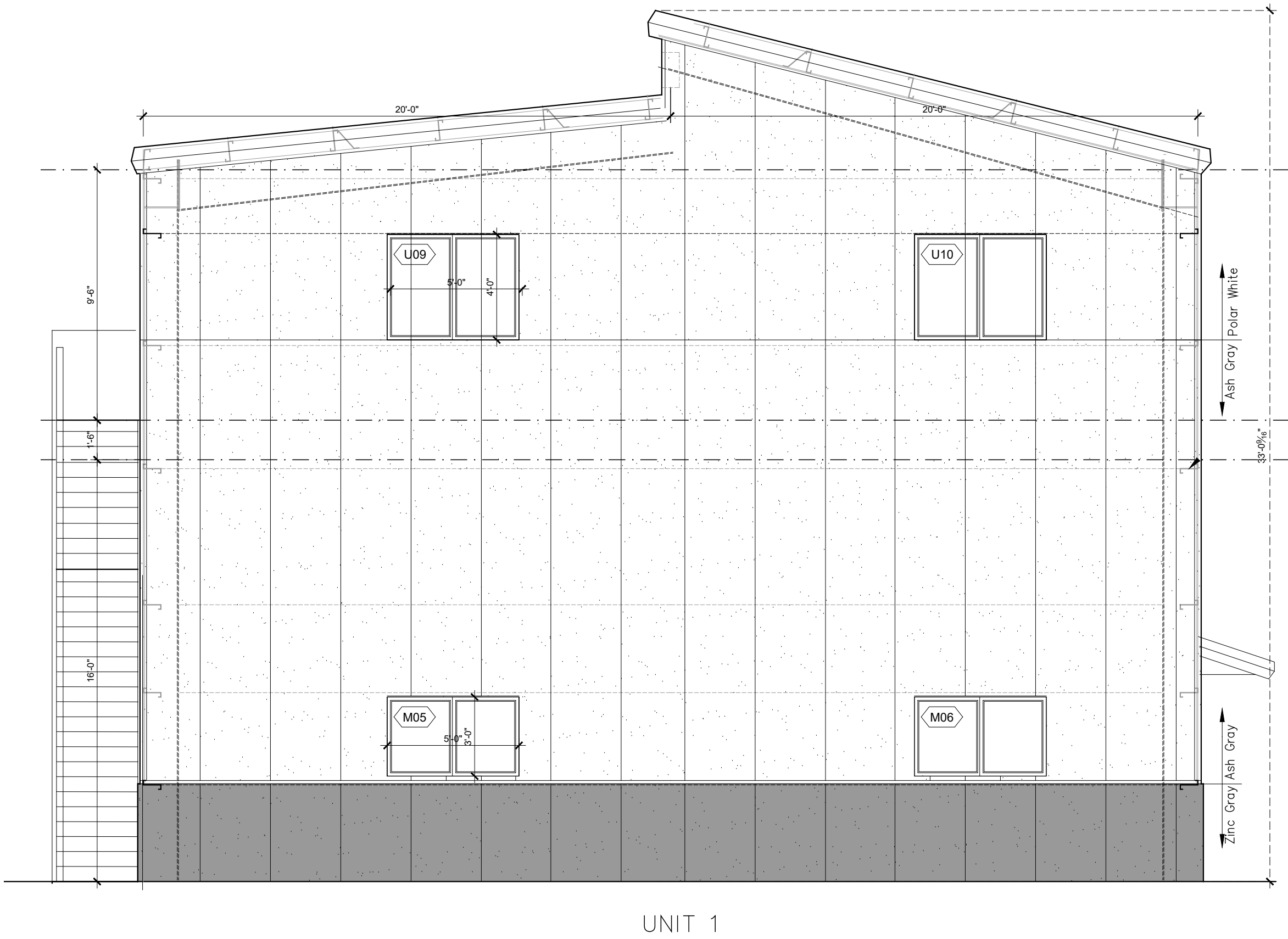
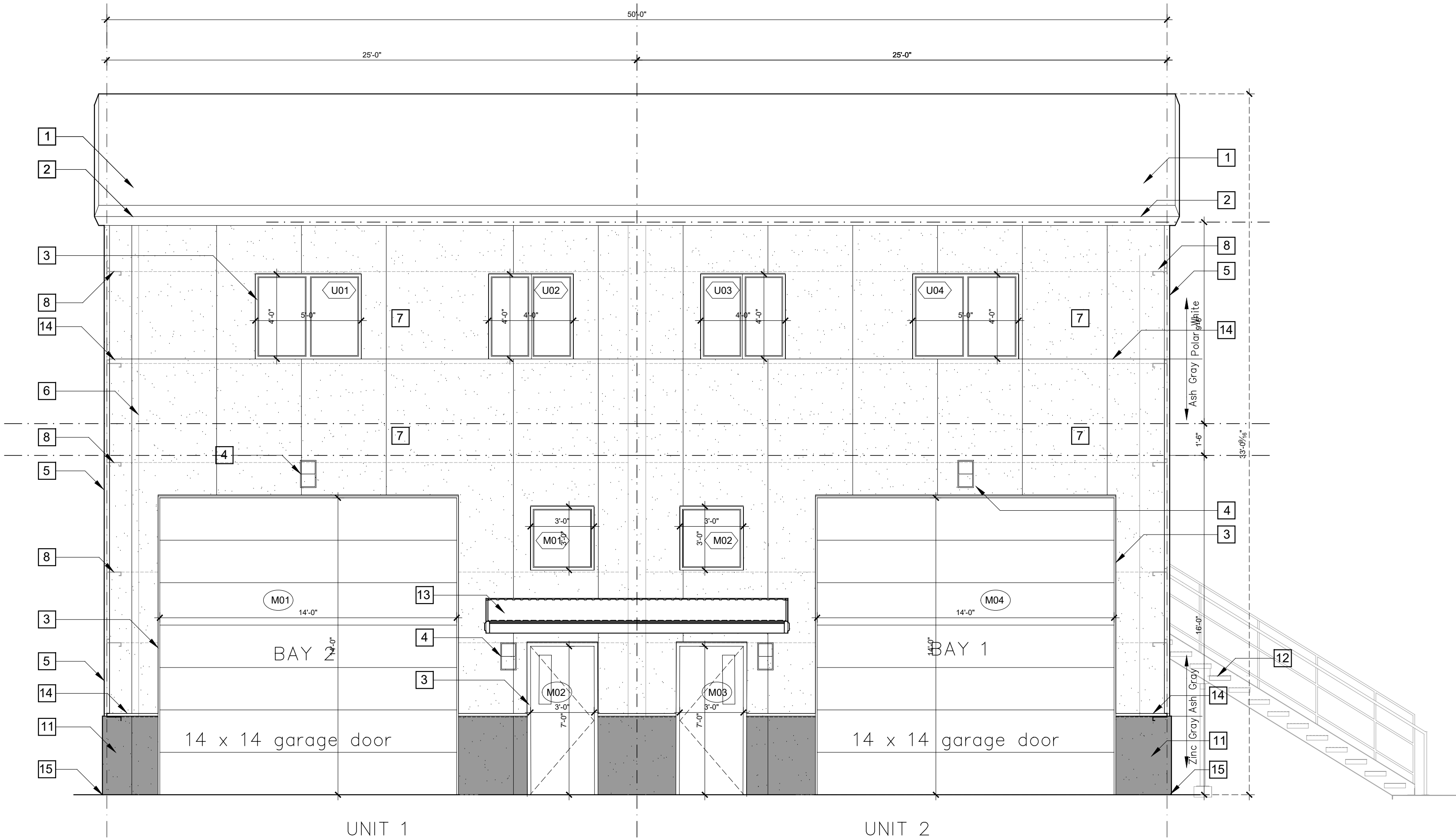
*Textured Wall Systems*

# www.strukturoc.com



Exterior Finish Legend

1	metal roof panel	Charcoal Gray
2	metal fascia	Charcoal Gray
3	door/window trim	Ash Gray and Polar White
4	exterior light	exterior light
5	corner trim	Ash Gray
6	steel frame	
7	stucco wall panel, field	Signature-Ash
8	wall girt/ roof purlin location	
9	guard rail	painted; gray
10	handrail	painted; gray
11	stucco panel, wainscot	Signature-Gray
12	stair tread	prefab galvanized tread
13	pre-engineered canopy	Charcoal Gray
14	transition flashing	Ash Gray
15	finish grade	
16	foundation below	



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Architectural PC

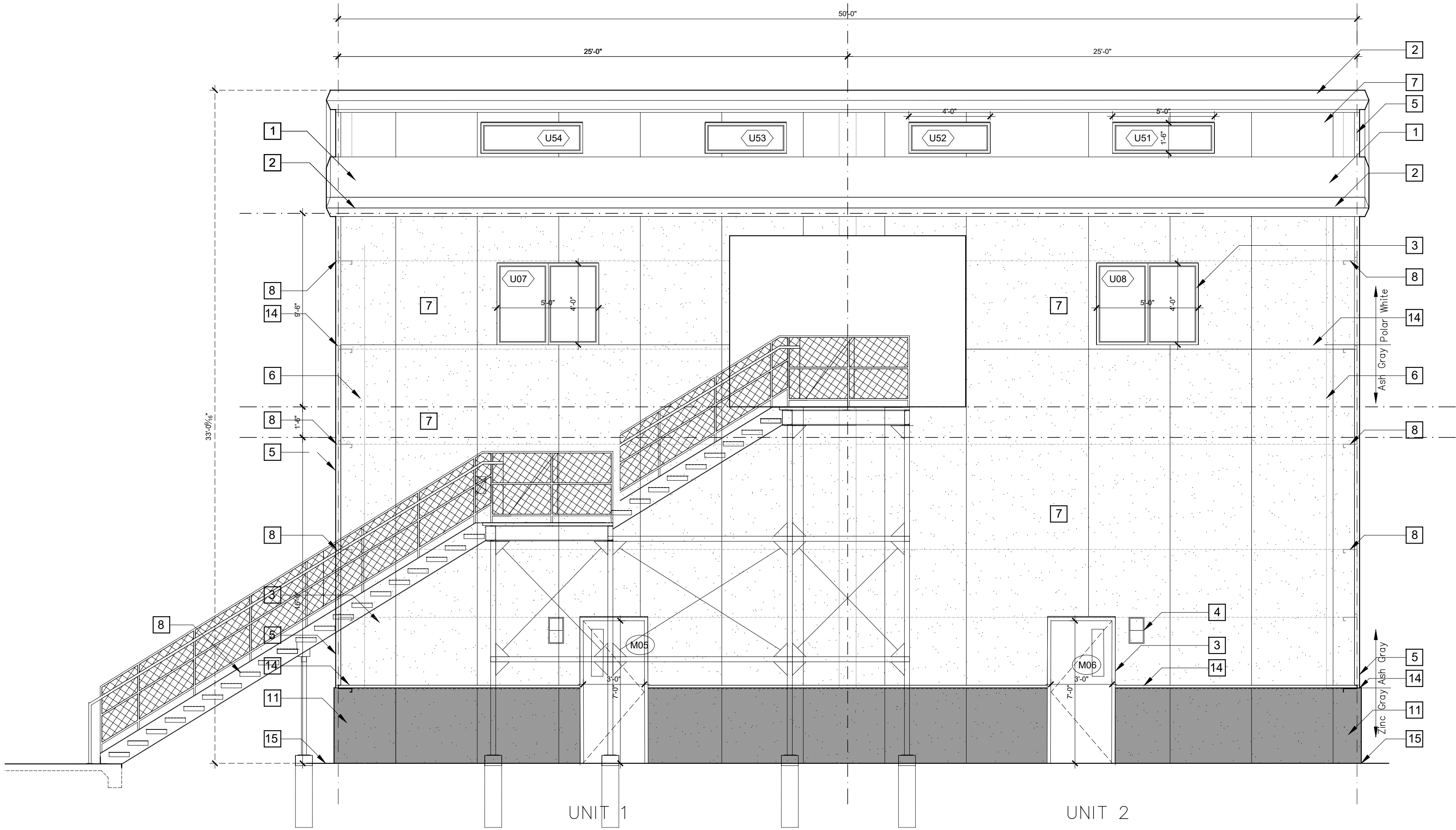
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Rifle, CO 81650  
970-625-0580  
jeff@jarchitectural.com  
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JSN Properties Silt Building II, LLC  
Lot 158B , Lyon Subdivision P.U.D.  
Silt, CO

Site Plan Review
Exterior Elevations
Revised: 08-27-23 2302A-07-14-23
A31

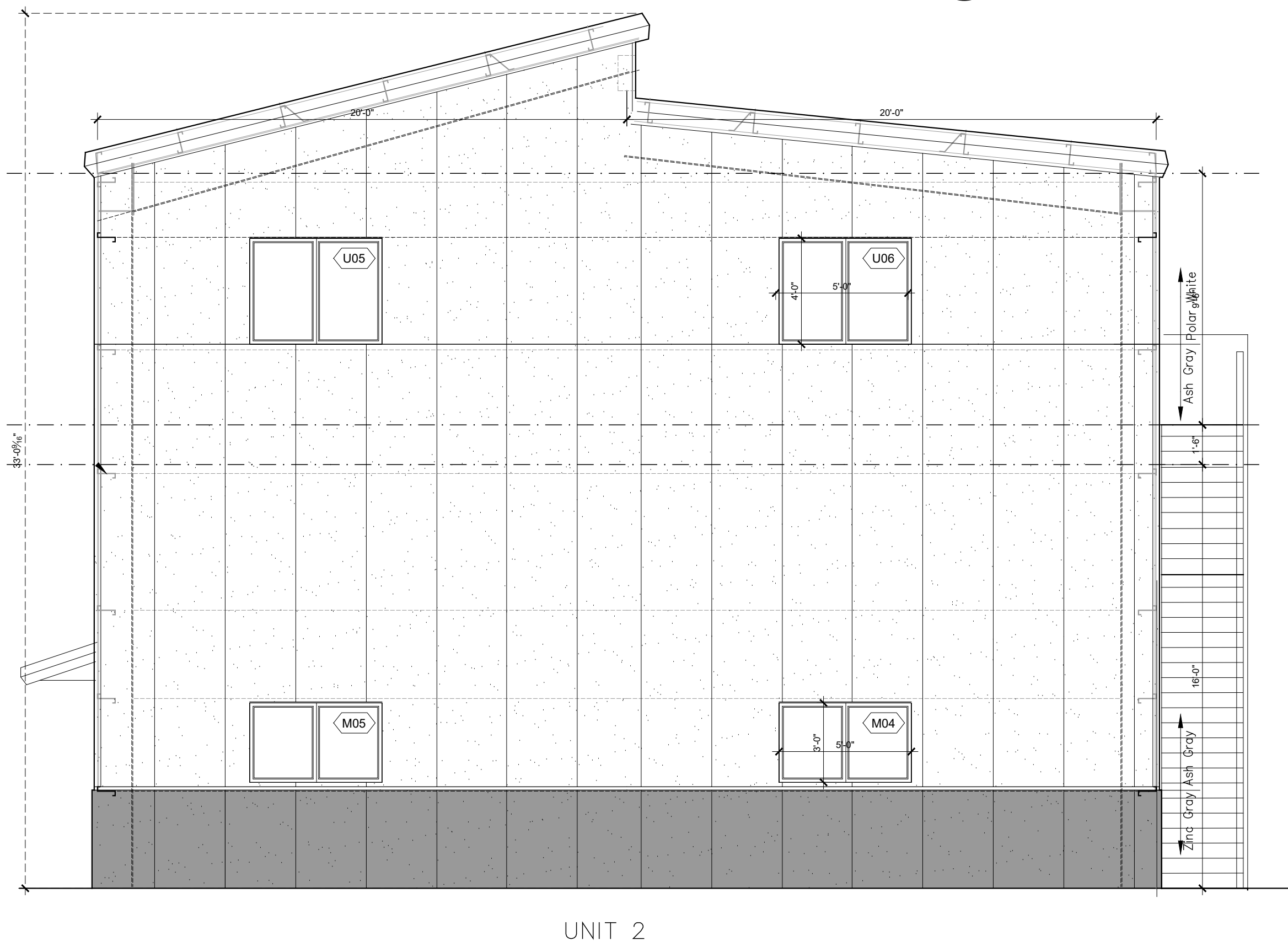
Exterior Finish Legend

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15	finish grade	
16	foundation below	



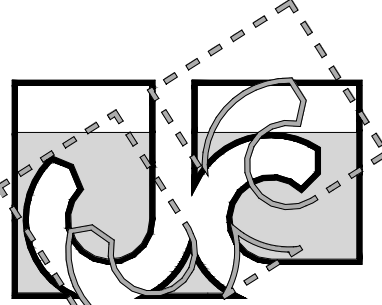
1 South Elevation

Scale 1/4" = 1'-0"



2 East Elevation

Scale 1/4" = 1'-0"



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**JSN Properties Silt Building II, LLC**  
**Lot 158B , Lyon Subdivision P.U.D.**  
**Silt, CO**

Site Plan Review

Exterior  
Elevations

Revised: 08-27-23  
2302A-07-14-23

**A32**



General Notes:

The purpose of these drawings is to graphically depict the general nature of the work to be performed. The Contractor shall confirm dimensions and select fabrication processes and techniques prior to construction.

All construction and materials shall be in accordance with all applicable codes, ordinances, laws, permits, and contract documents.

The contractor shall be responsible for the accurate placement of all new construction.

The contractor shall confine his or her operations on the worksite to those areas previously agreed on with the owner.

All materials stored on site shall be properly stacked and protected to prevent damage and deterioration. Failure to protect material may be cause for rejection of work.

The Contractor shall review locations of light fixtures and other recessed ceiling and wall elements prior to framing for proper placement of these items.

The contractor shall verify all field dimensions and conditions, and shall notify the architect of any variations from those items shown herein.

The jobsite shall be maintained in a clean, ordered condition, free of debris and litter. The jobsite shall not be unreasonably encumbered with any materials or equipment. Each subcontractor, immediately upon completing each phase of his or her work, shall remove all trash and debris as a result of his or her operation.

The contractor shall do all cutting, fitting or patching of his or her work that may be required to make its several parts to fit together properly. The contractor shall not endanger any other work by cutting, excavating, or otherwise altering the total work or any other part of it. All patching, repairing and replacing of materials and surfaces cut or damaged in execution of work shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces.

Mechanical subcontractor shall be responsible for designing and installing a code compliant heating and ventilation system. Plumbing subcontractor shall be responsible designing and installing a code compliant water, drain lines, and proper venting. Electrical subcontractor shall be responsible for designing and installing a code compliant electrical system.

The Contractor shall provide all necessary blocking, backing, and framing for bathroom accessories, handrails, guardrails, electrical fixtures, mechanical equipment, recessed items, and any other items, as required.

Refer to truss manufacturer's submittal for truss package details. Truss manufacturer to provide pre-engineered roof trusses and floor joists to provide compliance with Structural Engineer and IRC conventional construction provisions under the following min. loading characteristics:  
40 PSF Roof Snow Load, per truss manufacturer  
40 PSF Floor Live Load  
60 PSF Balcony Load, if applicable

The Contractor shall be responsible for arranging all necessary inspections required by Town of Silt prior to covering any such portions of work.

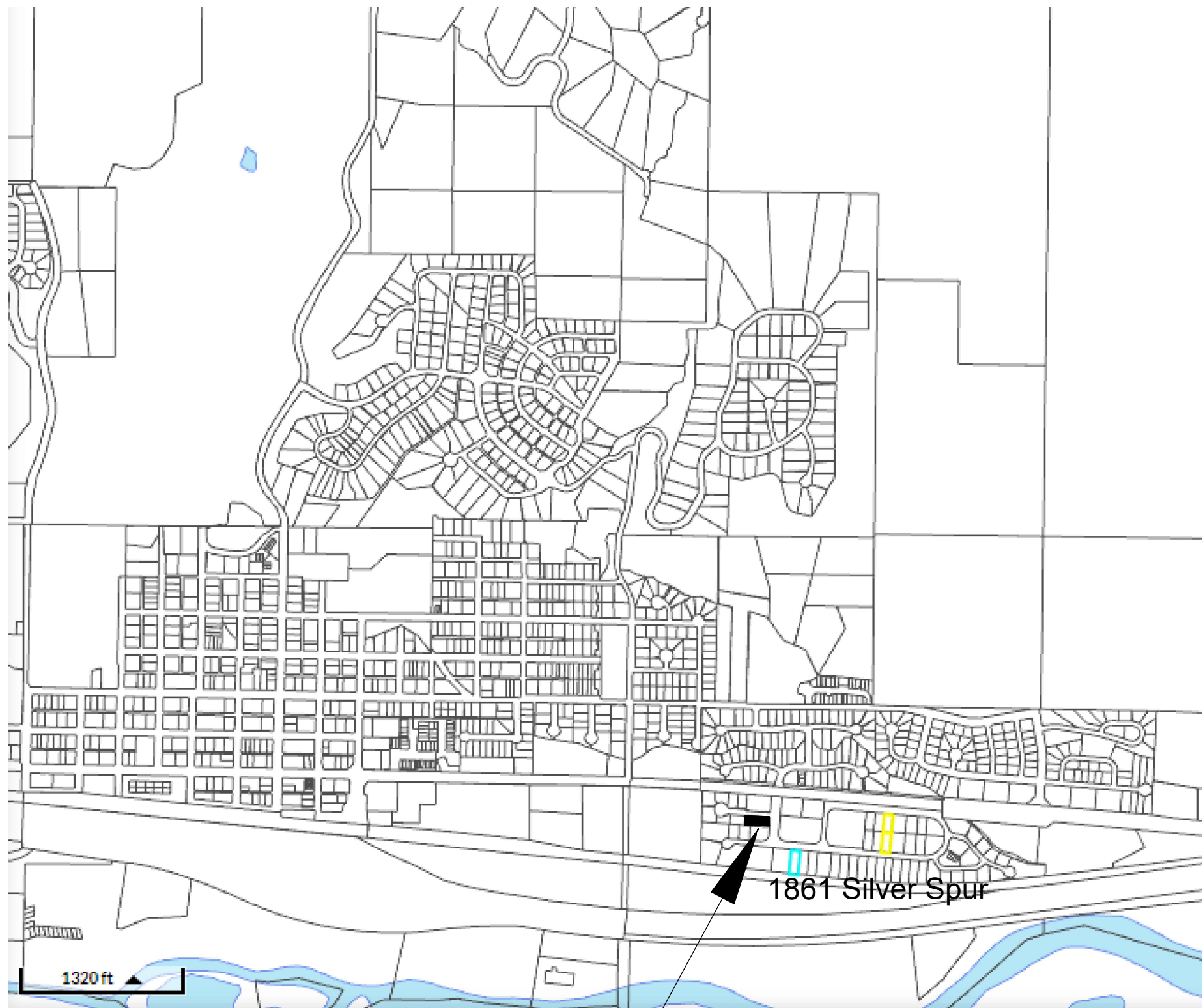
Energy Compliance: (all values are minimum requirements)  
Ceilings and Ceilings w/ raised trusses: R-40  
Walls Above Grade: R-20  
Walls Below Grade: R-11  
Floor over unheated spaces: R-11  
Slab Edge, 36" insulated: R-10  
Glazing Requirement: Double Glazing  
HVAC Ducts: R-8

Air Leakage:  
Exterior joints around windows and door frames, openings between walls and foundations and between walls and roof/ceilings and between wall panels, openings at penetrations of utility services through walls, floor and roofs and all other similar types of openings in the building envelope shall be caulked, gasketed, weather stripped, or otherwise sealed to prevent in a manner approved by the Building Official.

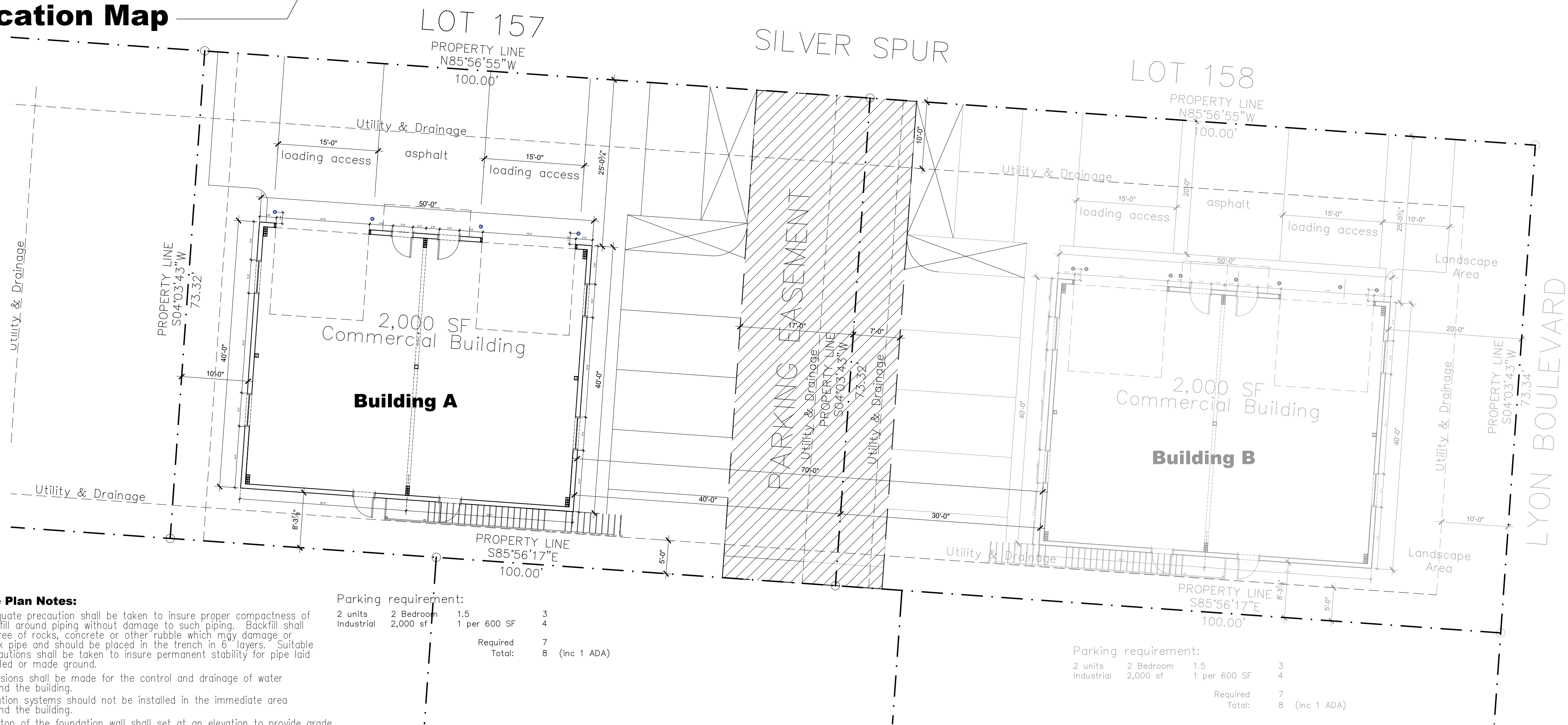
Vapor Retarder:  
Vapor retarders shall be installed in all non-vented framed ceilings and rafter spaces

Code references:  
2015 International Building Code  
2009 International Energy Conservation Code

All drawings, plans, and specifications are instruments of service provided by Jeff Johnson Architectural P.C. and remain the property of the Architect. These instruments of service may not be reused without written consent by Jeff Johnson Architectural P.C.



Location Map



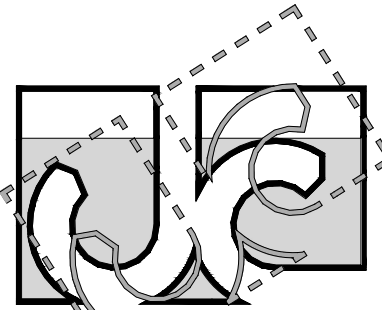
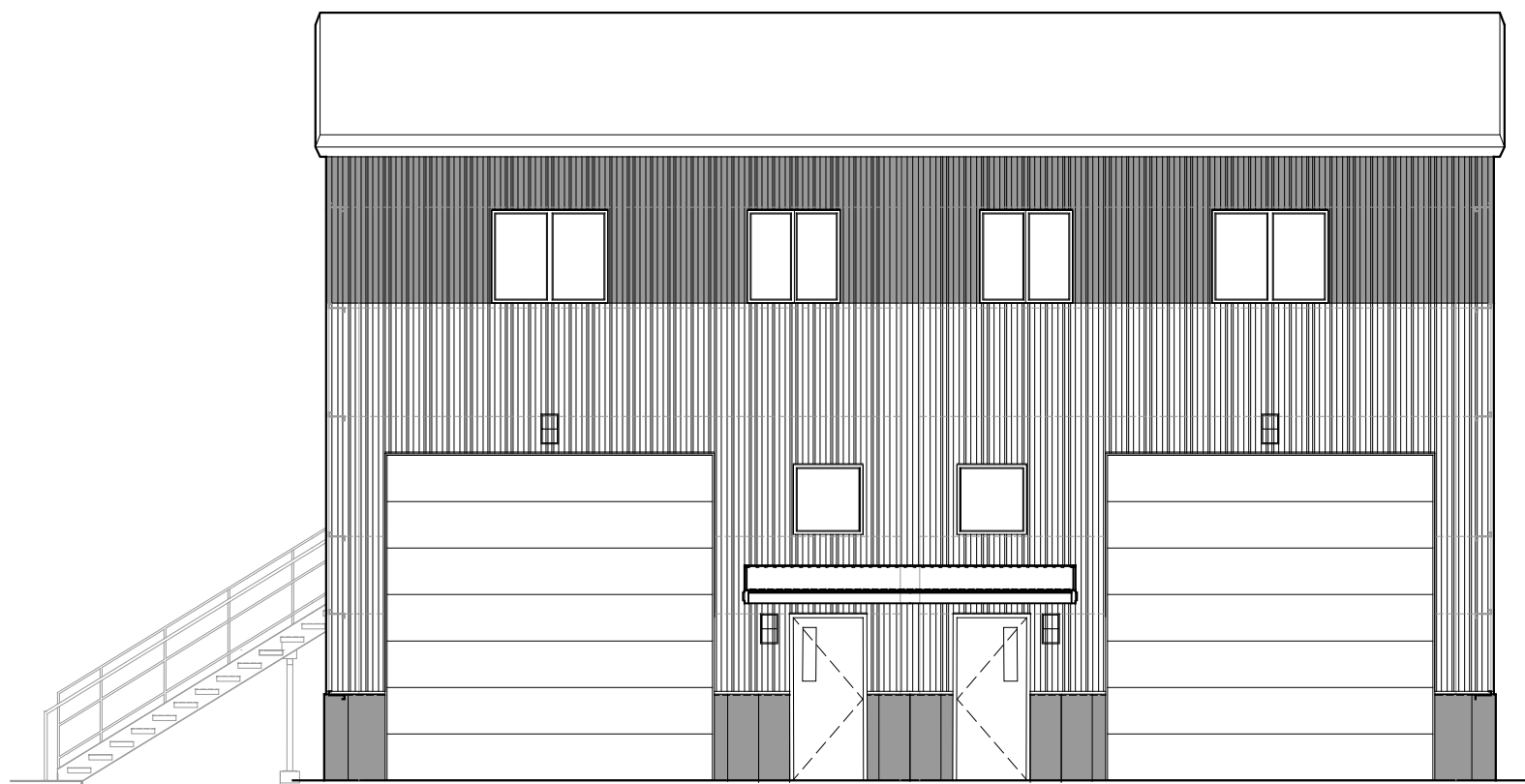
Site Plan Notes:

- Adequate precaution shall be taken to insure proper compactness of backfill around piping without damage to such piping. Backfill shall be free of rocks, concrete or other rubble which may damage or break pipe and should be placed in the trench in 6" layers. Suitable precautions shall be taken to insure permanent stability for pipe laid in filled or made ground.
- Provisions shall be made for the control and drainage of water around the building.
- Irrigation systems should not be installed in the immediate area around the building.
- The top of the foundation wall shall set at an elevation to provide grade that shall fall a minimum of 6 inches within the first 10 feet.
- All concrete for site elements shall be mixed and placed in accordance with ACI 318 latest edition, shall develop a minimum compressive strength of 3,500 PSI at 28 days, and shall be reinforced.
- Contractor shall coordinate the site earthwork with the foundation design for over excavation and structural fill placement under the building foundation if required.
- Follow all directions provided in Geotechnical Report performed by: HP Geotech, 5020 County Road 154, Glenwood Springs, CO 81601, Job No. 108 136A

Parking requirement:			
2 units	2 Bedroom	1.5	3
Industrial	2,000 sf	1 per 600 SF	4
Required		7	
Total:		8	(inc 1 ADA)

Landscape requirements, per ordinance 19-08 include:

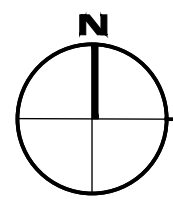
A minimum of 10% of the lot shall be landscaped  
Silver Spur Lots can have parking within the 20'-0" setback area long as 10% area is maintained in other areas within the lot  
Rock cover may be used in the landscape area, and shall have a 5 mil minimum weed barrier  
Minimum of four (4) trees and eight (8) one gallon shrubs shall be provided  
All landscaping shall be healthy and well kept  
Landscaping shall be irrigated



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JSN Properties Silt Building II, LLC  
Lot 157A , Lyon Subdivision P.U.D.  
Silt, CO



Site Plan, Lot 157  
1845 Silver Spur  
Building A

Address 1845 SILVER SPUR  
Parcel No. 217911201156  
Account No. R006256  
Lot Size: 7,331 SF

scale: 1" = 10'-0"

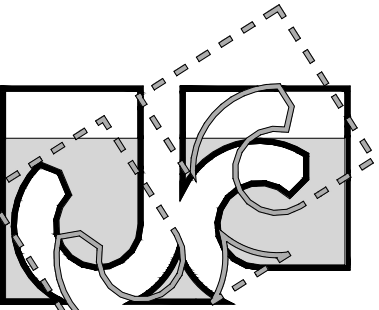
Site Plan Review

Notes,  
Site Plan

Date: 07-14-23  
2302A-07-14-23

CVR

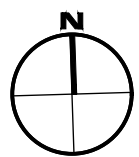
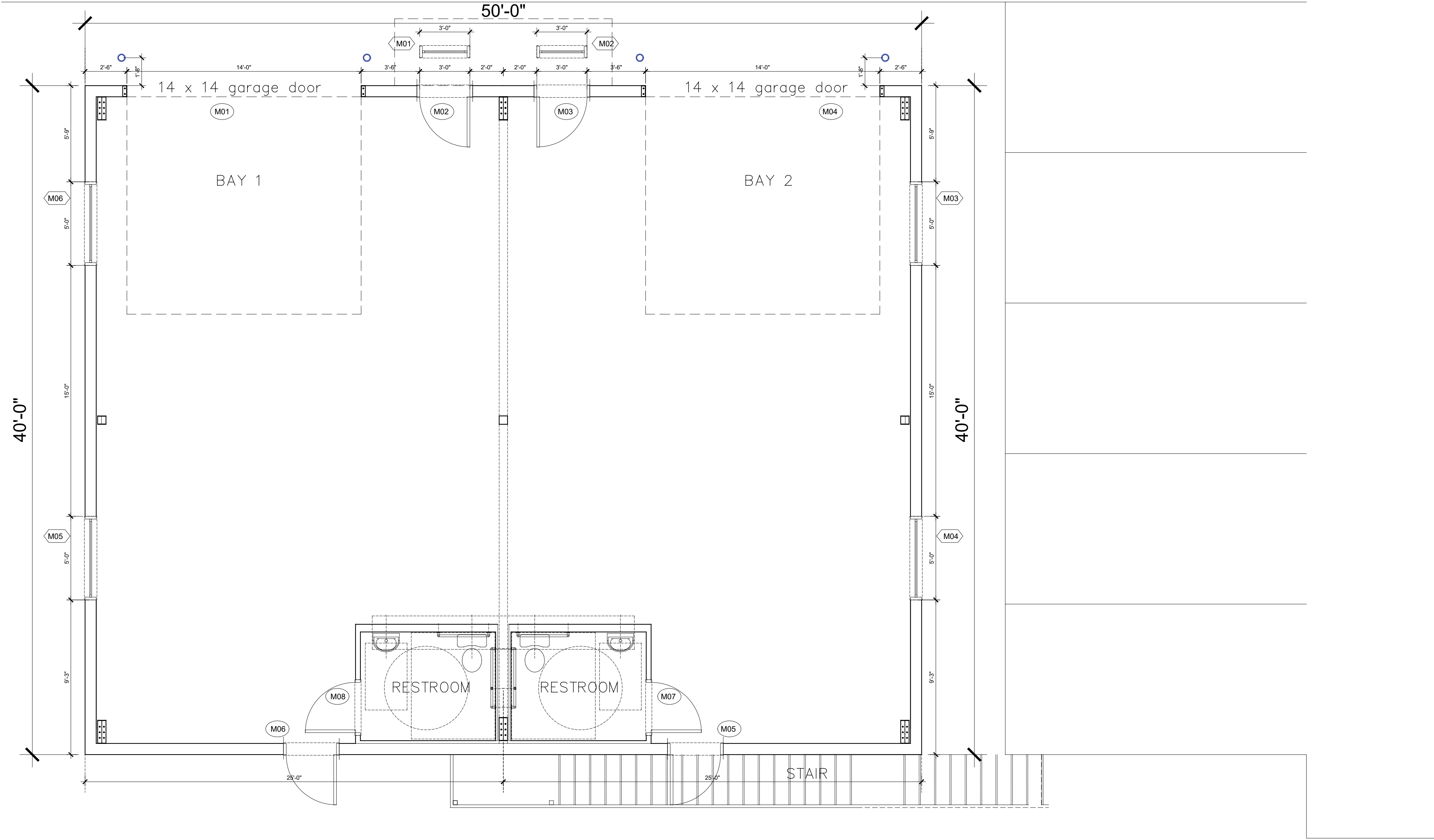




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Silt, CO



1  
A21 Main Floor Plan  
Building A

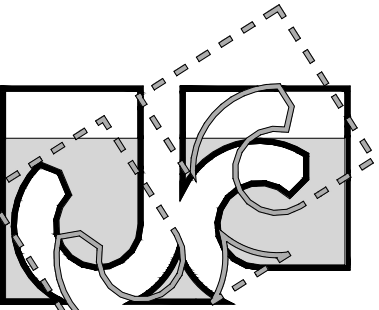
Scale 1/4" = 1'-0"



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Site Plan Review
Main Floor Plan
Date: 07-14-23 2302A-07-14-23
A21

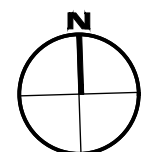
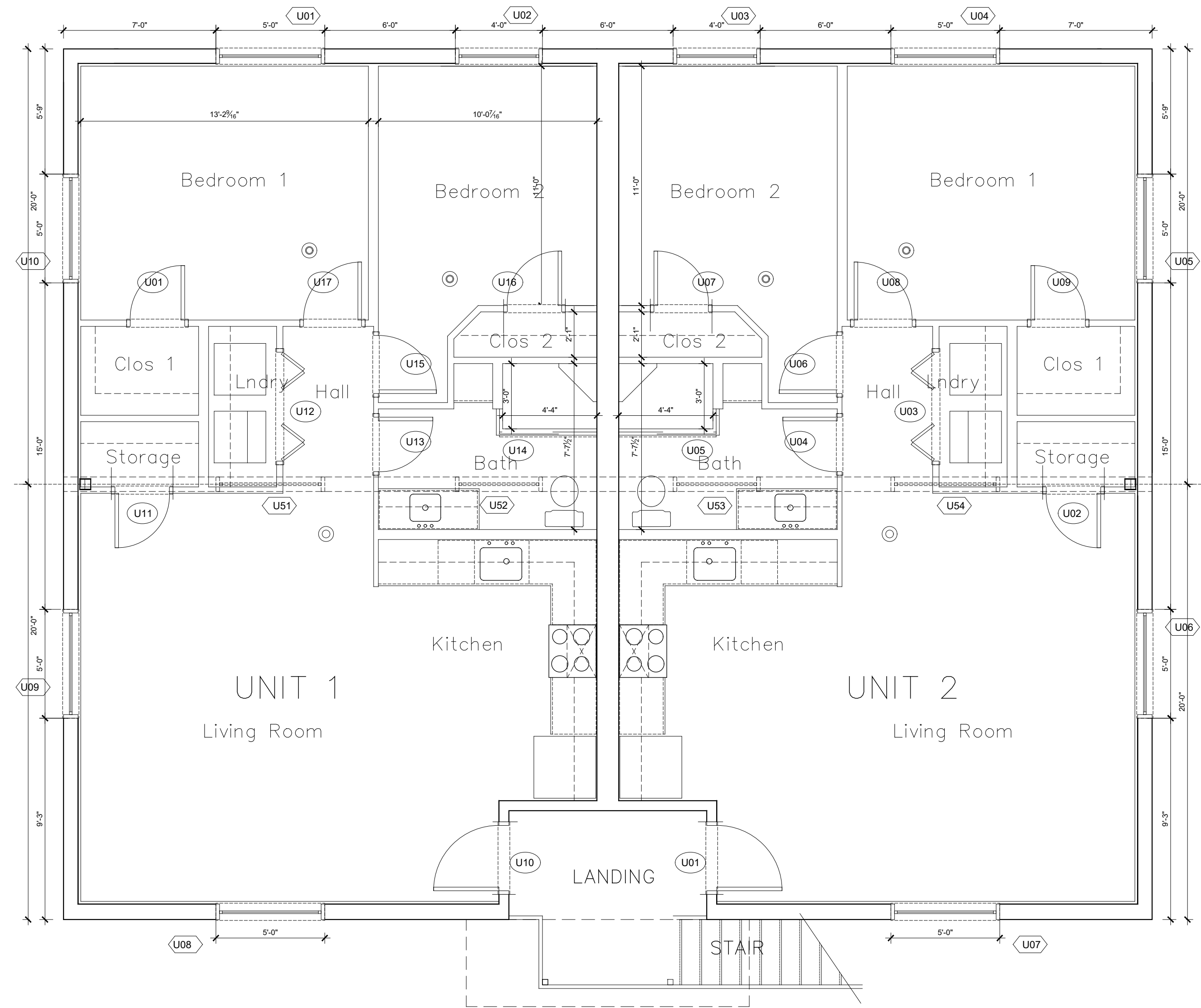




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**JSN Properties Silt Building II, LLC**  
**Lot 157A , Lyon Subdivision P.U.D.**  
**Silt, CO**



1  
A22 Upper Floor Plan  
Building A

Scale 1/4" = 1'-0"

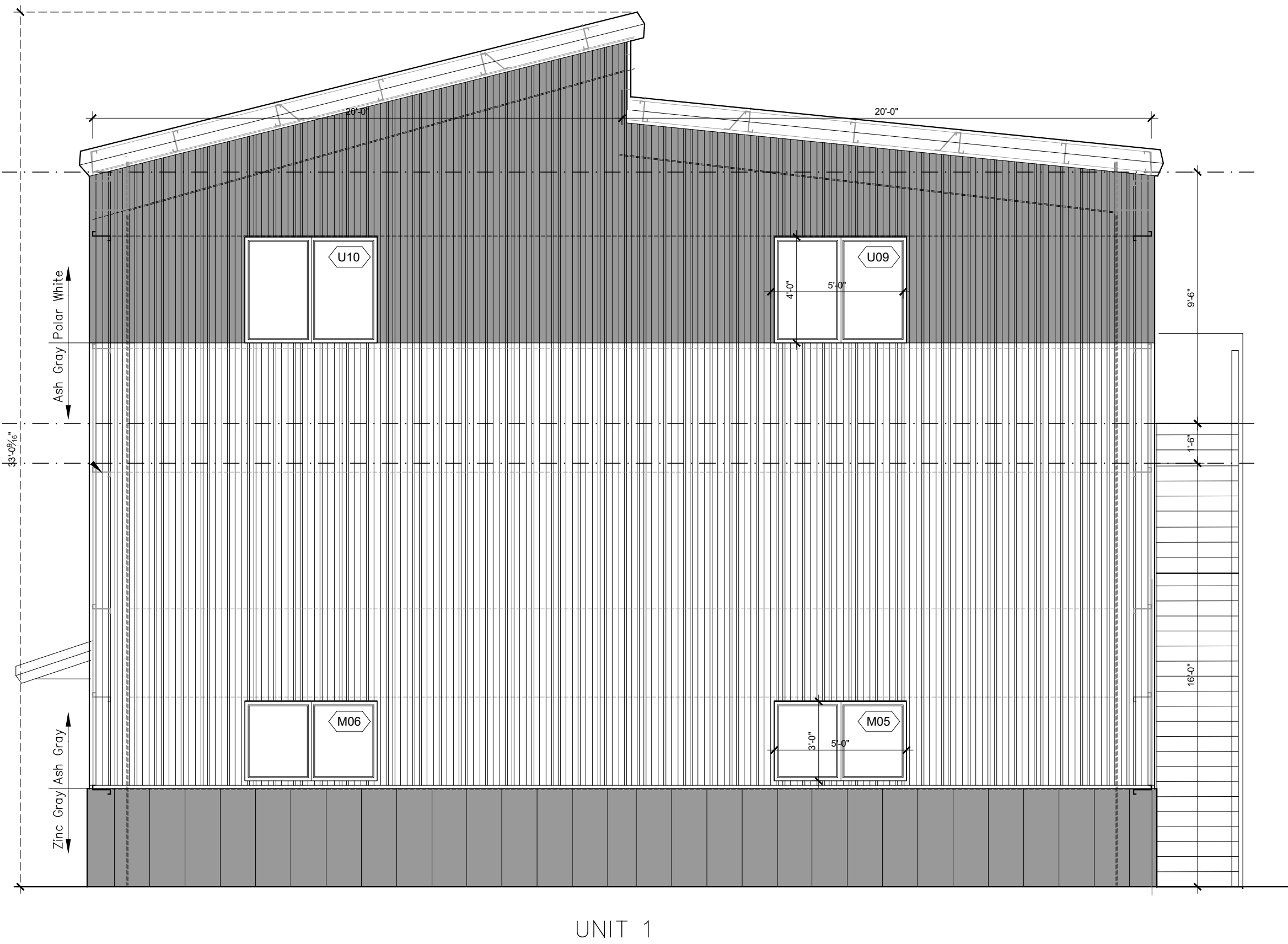
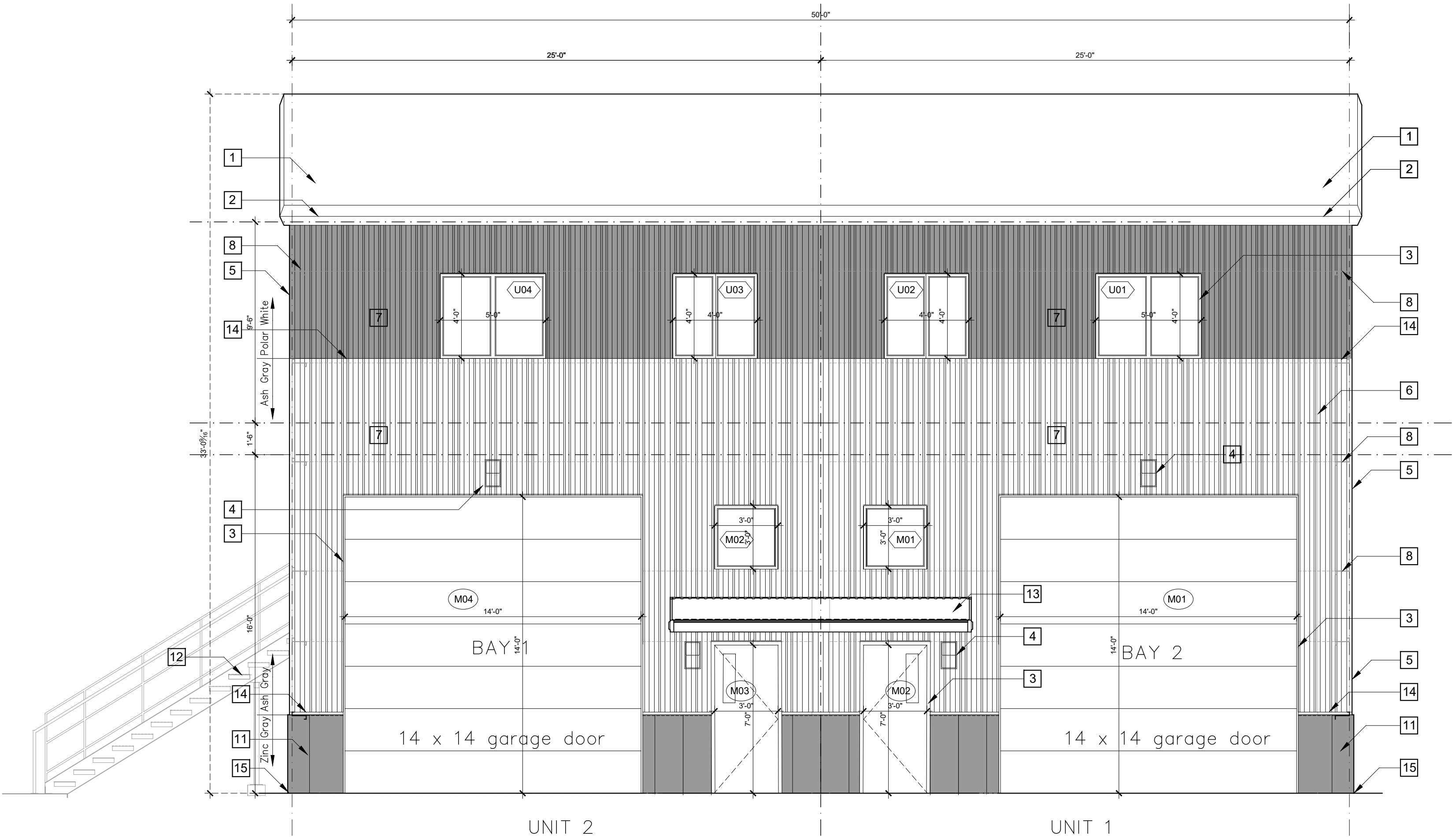


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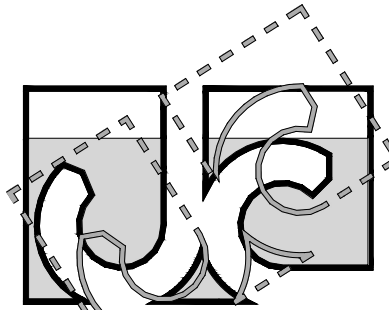
Site Plan Review
Upper Floor Plan
Date: 07-14-23 2302A-07-14-23
<b>A22</b>

Exterior Finish Legend

1	metal roof panel	Charcoal Gray
2	metal fascia	Charcoal Gray
3	door/window trim	Ash Gray and Polar White
4	exterior light	exterior light
5	corner trim	Ash Gray
6	steel frame	
7	metal wall panel	Ash Gray and Polar White
8	wall girt/ roof purlin location	
9	guard rail	painted: gray
10	handrail	painted: gray
11	metal wall wainscot	Kingspan Zinc Gray
12	stair tread	prefab galvanized tread
13	pre-engineered canopy	Charcoal Gray
14	transition flashing	Ash Gray
15	finish grade	
16	foundation below	



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Jeff Johnson  
Architectural PC

136 East Third Street  
Rifle, CO 81850  
970-625-0580  
jeff@jjarchitectural.com  
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**JSN Properties Silt Building II, LLC**  
**Lot 157A , Lyon Subdivision P.U.D.**  
**Silt, CO**

Site Plan Review

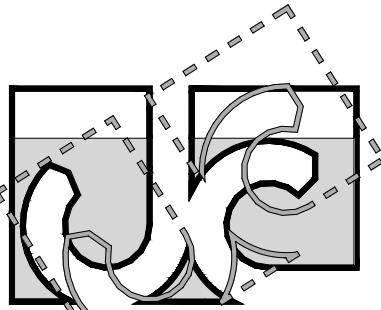
Exterior  
Elevations

Date: 07-14-23  
2302A-07-14-23

**A31**

Exterior Finish Legend

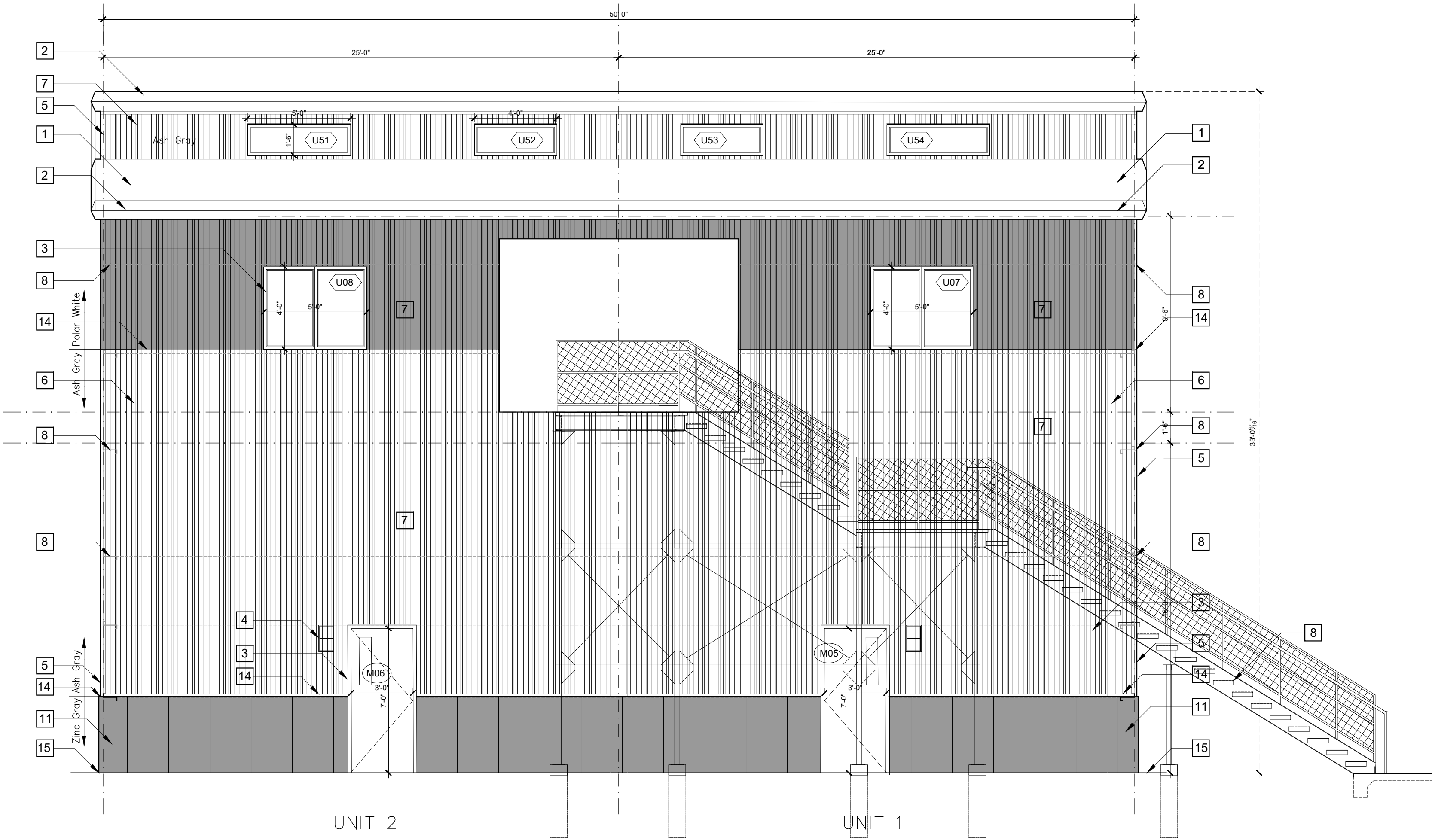
1	metal roof panel	Charcoal Gray
2	metal fascia	Charcoal Gray
3	door/window trim	Ash Gray and Polar White
4	exterior light	exterior light
5	corner trim	Ash Gray
6	steel frame	
7	metal wall panel	Ash Gray and Polar White
8	wall girt/ roof purlin location	
9	guard rail	painted: gray
10	handrail	painted: gray
11	metal wall wainscot	Kingspan Zinc Gray
12	stair tread	prefab galvanized tread
13	pre-engineered canopy	Charcoal Gray
14	transition flashing	Ash Gray
15	finish grade	
16	foundation below	



Jeff Johnson  
Architectural PC

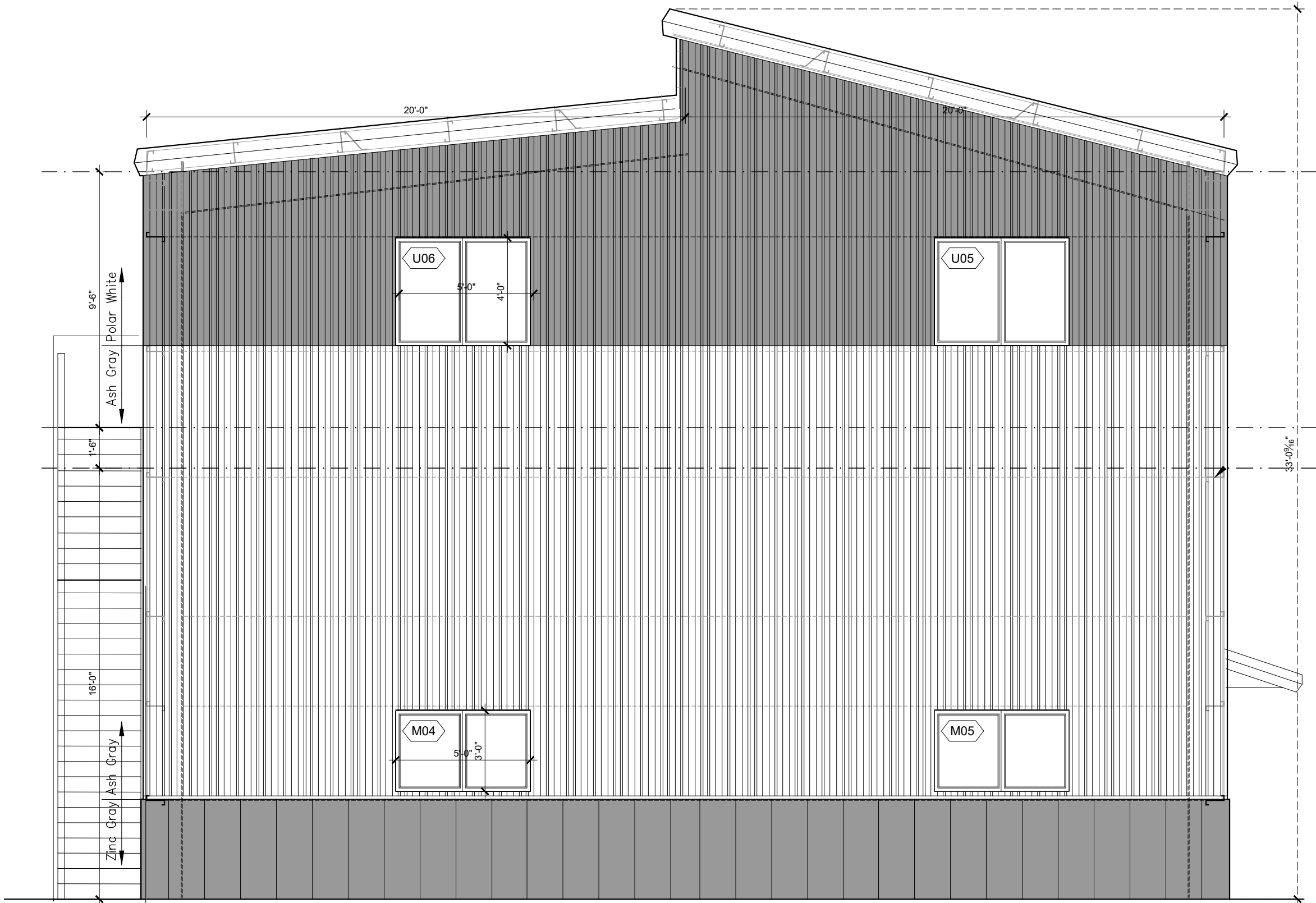
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JSN Properties Silt Building II, LLC  
Lot 157A , Lyon Subdivision P.U.D.  
Silt, CO



1 South Elevation

Scale 1/4" = 1'-0"



2 East Elevation

Scale 1/4" = 1'-0"

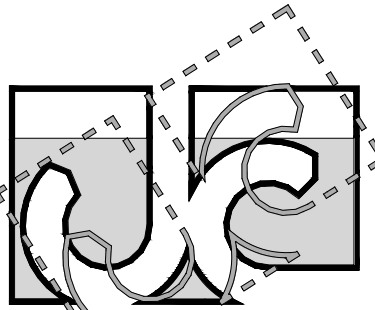
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Site Plan Review

Exterior  
Elevations

Date: 07-14-23  
2302A-07-14-23

A32



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Architectural PC

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970-625-0580  
jeff@jjarchitectural.com  
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JSN Properties Silt Building II, LLC  
Lot 157A , Lyon Subdivision P.U.D.  
Silt, CO

Skyline Mechanical Window Schedule

No.	Location Room	Type	Window Size (WxH)	Sill height	Head height	Manuf.	Mdl No.	Remarks
M01	Warehouse 1	Fixed	3'-0" x 3'-0"		13'-7"			
M02	Warehouse 2	Fixed	3'-0" x 3'-0"		13'-7"			
M03	Warehouse 2	Slider	5'-0" x 3'-0"		7'-0"			
M04	Warehouse 2	Slider	5'-0" x 3'-0"		7'-0"			
M05	Warehouse 1	Slider	5'-0" x 3'-0"		7'-0"			
M06	Warehouse 1	Slider	5'-0" x 3'-0"		7'-0"			
U01	Bedroom1: Unit 1	Slider	5'-0" x 4'-0"		7'-0"			egress
U02	Bedroom2: Unit 1	Slider	5'-0" x 4'-0"		7'-0"			egress
U03	Bedroom2: Unit 2	Slider	5'-0" x 4'-0"		7'-0"			egress
U04	Bedroom1: Unit 2	Slider	3'-0" x 4'-0"		7'-0"			egress
U05	Bedroom1: Unit 2	Slider	3'-0" x 4'-0"		7'-0"			
U06	Living Rm: Unit 2	Slider	5'-0" x 4'-0"		7'-0"			
U07	Living Rm: Unit 2	Slider	5'-0" x 4'-0"		7'-0"			
U08	Living Rm: Unit 1	Slider	4'-0" x 4'-0"		7'-0"			
U09	Living Rm: Unit 1	Slider	4'-0" x 4'-0"		7'-0"			
U10	Bedroom1: Unit 1	Slider	5'-0" x 4'-0"		7'-0"			
U51	Clerestory: Unit 1	Fixed	5'-0" x 1'-6"		13'-11 1/2"			
U52	Clerestory: Unit 1	Fixed	4'-0" x 1'-6"		13'-11 1/2"			
U53	Clerestory: Unit 2	Fixed	4'-0" x 1'-6"		13'-11 1/2"			
U54	Clerestory: Unit 2	Fixed	5'-0" x 1'-6"		13'-11 1/2"			

Skyline Mechanical Door Schedule

No.	Location		Door Size			Type	Mat	Core	Door		Finish	Fire Rtnng	Hard ware	Remarks
	From	To	Wdth	Hght	Thk				Dr	Frm	Frm			
M01	Exterior	Warehouse 1	14'-0"	14'-0"	2"	Overhead Sectional	Metal	Insulated	Painted	Metal			Per Manufacturer	
M02	Exterior	Warehouse 1	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal			Lockset	safety glass
M03	Exterior	Warehouse 2	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal			Lockset	
M04	Exterior	Warehouse 2	14'-0"	14'-0"	2"	Overhead Sectional	Metal	Insulated	Painted	Metal			Per Manufacturer	
M05	Exterior	Warehouse 2	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal			Lockset	
M06	Exterior	Warehouse 1	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal			Lockset	
M07	Exterior	Warehouse 2	3'-0"	7'-0"	2"	Hinged Single	Wood	Wood	Painted	Painted			Privacy	
M08	Exterior	Warehouse 1	3'-0"	7'-0"	2"	Hinged Single	Wood	Wood	Painted	Painted			Privacy	
UNIT ONE	U01	Landing	Living Room	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal		Lockset/Deadbolt	
	U02	Storage	Living Room	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
	U03	Laundry	Hall	5'-0"	7'-0"	1-3/8"	Double Bifold	Wood	Wood	Stained	Painted		Pass thru	
	U04	Hall	Bath	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U05	Shower	Bath	2'-4"	7'-0"	3/8"	Track slider	Glass	Glass	Polished	Frameless		By Manufacturer	Safety Glass
	U06	Hall	Bedroom 2	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U07	Closet 2	Bedroom 2	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
	U08	Hall	Bedroom 1	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U09	Closet 1	Bedroom 1	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
UNIT TWO	U11	Landing	Living Room	3'-0"	7'-0"	2"	Hinged Single	Metal	Insulated	Painted	Metal		Lockset/Deadbolt	
	U12	Storage	Living Room	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
	U13	Laundry	Hall	5'-0"	7'-0"	1-3/8"	Double Bifold	Wood	Wood	Stained	Painted		Pass thru	
	U14	Hall	Bath	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U15	Shower	Bath	2'-4"	7'-0"	3/8"	Track slider	Glass	Glass	Polished	Frameless		By Manufacturer	Safety Glass
	U16	Hall	Bedroom 2	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U17	Closet 2	Bedroom 2	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	
	U18	Hall	Bedroom 1	2'-8"	7'-0"	1-3/4"	Hinged Single	Wood	Wood	Stained	Painted		Privacy	
	U19	Closet 1	Bedroom 1	2'-6"	7'-0"	1-3/8"	Hinged Single	Wood	Wood	Stained	Painted		Pass thru	

Schedules



## Land Use Application Form

_____ Amended Plat	_____ Boundary Adjustment	_____ Subdivision Exemption
_____ Annexation	_____ Sketch Plan	_____ Floodplain Development
_____ Final Plan	_____ Planned Unit Development	_____ Vacation of Right-of-Way
_____ Text Amendment	<u>X</u> _____ Site Plan Review	_____ Re-Subdivision Final Plan
_____ Easement Agreement	_____ Zoning or Rezoning	_____ Subdivision Improvement Agreement
_____ Preliminary Plan	_____ Special Use Permit	_____ Annexation & Development Agreement
_____ Zoning Variance	_____ Other: _____	

**Project Name:** JSN Properties Silt Building A

**Project Description / Property Information:**

Address: 1845 Silver Spur, Silt, CO 81652 Parcel ID Number: 217911201156

Legal Description (*attach additional sheets if necessary*): \_\_\_\_\_

Lot 157 ; Lyon Subdivision PUD

Access to Property: Silver Spur

Acreage or Square Footage: 7,331 Existing Land Use Designation: B-1 or B-2 PUD Allowed

Proposed Land Use Designation: Service Business with Residential

Existing Zoning: B-1 or B-2 PUD Proposed Zoning: B-2 PUD

Proposed Use / Intensity of Use: Service Business(es) below; Two Residential Units above

**Submittal Requirements:**

- Initially, a completed application with original signatures and four copies shall be submitted to the department for review. The application shall include four sets of 24" x 36" plans, plats and other appropriate drawings. Application must also be submitted in electronic format (MS Word).
- In addition to this application, all information on the supplemental checklist must be submitted.
- Incomplete applications will not be accepted and will delay processing.
- When the documents are deemed adequate, additional copies as required by the department shall be submitted ten (10) days before the public hearing.
- All documents submitted for public hearing shall be hole-punched, collated and paper-clipped (no staples). All plans, plats or drawings shall be folded to 8 1/2" x 11" and inserted into the collated application. Each individual application shall be banded together and ready for public distribution.

**STAFF USE ONLY**

Pre-app conference: _____ (date)	Application received: _____ (date)
Application complete: _____ (date)	File Number: _____
Fees: _____	Referrals Sent: _____ (date)
Deposits: _____	PZC approval: _____ (date)
Paid: _____ (date)	BOT approval: _____ (date)

**Project Team Information** (fill in all that apply) *(add additional sheets of needed)*:Property Owner(s): Name: Justin & Shelli Nielsen Phone: 970-390-5301Company: JSN Properties Silt Building II, LLC Fax: \_\_\_\_\_Address: PO BOX 1258, Gypsum, CO 81637

Authorized Rep.: Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Company: \_\_\_\_\_ Fax: \_\_\_\_\_

Address: \_\_\_\_\_

Engineer/Designer: Name: Jeff Johnson Phone: 970-625-0580Company: Jeff Johnson Architectural, PC Fax: \_\_\_\_\_Address: 136 East Third Street, Rifle, CO 81650Billable Party: Owner X Representative \_\_\_\_\_ Engineer \_\_\_\_\_

The Billable Party, by signing below, hereby agrees to reimburse the Town the actual costs to the Town plus 15% administrative fees for all engineering, surveying and legal services rendered in connection with the review of the Application. The Billable Party shall also reimburse the Town for the cost of making any corrections or additions to the master copy of the official Town map and for any fees for recording any plats and accompanying documents with the County Clerk and Recorder of Garfield County. The Billable Party agrees that interest shall be imposed at a rate of 1.5% per month on all balances not paid within thirty (30) days of the date of the statement. In addition to any and all remedies available to the Town and in the event the Town is forced to pursue collection of any amounts due and unpaid, the Town shall be entitled to collect attorney's fees and costs incurred in said collection efforts in addition to the amount due and unpaid.

Justin or Shelli Nielsen § \_\_\_\_\_

Name (printed)

PO BOX 1258, Gypsum, CO 81637

Address

970-390-5301

Phone

Fax \_\_\_\_\_

Signature \_\_\_\_\_

Type of Identification \_\_\_\_\_

**Disclosure of Property Ownership**

\_\_\_\_\_ If owner is an individual, indicate name exactly as it appears on the deed.

X If owner is a corporation, partnership, limited partnership or other business entity, name principals on a separate page. Please include articles of organization, partnership agreement, etc., as applicable.

\_\_\_\_\_ If owner is a land trust, name beneficiaries on a separate page.

\_\_\_\_\_ If applicant is a lessee, indicate the owner(s) on a separate page.

\_\_\_\_\_ If applicant is a contract purchaser, attach a copy of the contract and indicate the owner(s) on a separate page.

*Please provide the name(s), mailing address(es), street address(es) and phone number(s) for all owners.*

### Property Owner Affidavit

I/We, JSN Properties Silt Building II, LLC, being first duly sworn, depose and state under penalties of perjury that I am (we are) the owner(s) of the property described herein and which is the subject of the application and proposed hearings; that all answers provided to the questions in this application, and all sketches, data and all other supplementary matter attached hereto and made part of this application are honest and true to the best of my (our) knowledge and belief. I (we) understand that this application must be complete and accurate prior to a hearing being scheduled. I (we) authorize Town staff to visit the site as necessary for proper review of this application.

(If there are special conditions such as guard dogs, locked gates, restricted hours, etc., please give the name and phone number of the person(s) who can provide access to the site)

Justin Nielsen

Name (printed)

PO BOX 1258

Gypsum, CO 81637

Address

970-390-5201

Phone

Fax

Signature

Type of Identification

County of \_\_\_\_\_)

State of \_\_\_\_\_)

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

(fill in day)

(fill in month)

(fill in year)

By \_\_\_\_\_  
(name printed)

Witness my hand and official seal.

Notary Public

My Commission expires: \_\_\_\_\_

Shelli Nielsen

Name (printed)

PO BOX 1258

Gypsum, CO 81637

Address

970-390-5201

Phone

Fax

Signature

ss.

(seal)



**Authorized Representative**

I/We further permit Jeff Johnson Architectural, PC to act as my/our representative in any manner regarding this application, to answer any questions and to represent me/us at any meeting(s) and public hearing(s) which may be held on this application.

NOTE: All correspondence will be sent to the authorized representative. It will be the representative's responsibility to keep the owner(s) adequately informed as to the status of the application.

## Justin or Shelli Nielsen

Name (printed)

PO BOX 1258

Gypsum, CO 81637

Address

970-390-5201

Phone

Fax

Signature

Type of Identification

County of \_\_\_\_\_)

State of \_\_\_\_\_)

SS.

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ .  
(fill in day) (fill in month) (fill in year)

By \_\_\_\_\_  
(name printed)

Witness my hand and official seal.

Notary Public

My Commission expires: \_\_\_\_\_



## SITE PLAN REVIEW CHECKLIST

### Uses Requiring Site Plan Review.

All new construction for commercial and multi-family uses require a site plan review to determine conformance with the Silt Municipal Code (§ 127.42.050), including the following:

- New commercial construction (including additions to existing commercial buildings);
- Multi-family (three or more dwelling units within one building or on one lot);
- Uses that require a special use permit and site review are:
  - Transient merchants
  - Commercial or multifamily building with roof pitch not under 4:12; or
  - Commercial or multifamily building over 10,000 gross square feet.

### Submittal Documents for a Commercial/Multi-Family Site Plan include the following:

- ☐ Land Use Application, Site Plan Application and applicable fee;
- ☐ Site Plan in a scale of 1/8" = 1' that addresses the following:
  - Zoning of subject parcel and that land immediately adjacent to subject parcel;
  - Maximum lot coverage not exceeding 80%;
  - Maximum building height not exceeding 27 feet;
  - Streets constructed in conformance with SMC Section 16.04.390;
  - Building setbacks in conformance with SMC Section 17.44.020;
  - Concrete sidewalks no less than six (6) feet wide in multi-family and ten (10) feet wide in commercial;
  - Public pathway (trail) plan;
  - Building materials and designed in order to achieve and maintain high architectural standards and avoid boxy or monotonous industrial appearance;
  - Façade treatment on all sides of the building;
  - Landscaping plan in conformance with SMC Sections 17.42.090 through 17.42.190;
  - Loading/Receiving areas in conformance with SMC Section 17.42.200;
  - Number and location of off-street parking spaces in conformance with SMC Sections 17.42.190 and Chapter 17.56;
  - Pedestrian crossings in conformance with SMC Section 17.42.210;
  - Screening of parking, truck loading and receiving areas, outdoor storage, refuse containers and mechanical equipment in conformance with SMC Section 17.42.220;
  - Potable water service main (or service line);
  - Sanitary sewer service main (or service line);
  - Drainage plan;
  - Erosion and sediment control plan;

***Silt Municipal Code Chapter 17.42 sets forth the Design Review Criteria for Commercial and Multifamily Structures.***

---

### 17.42.055 Application process.

- A. An applicant for commercial or multifamily site plan review shall provide such written information on the land use application form and on forms provided by the town, plus any other supplemental information needed to convey information to the commission, including the following:
1. A description of the proposed land use(s);  
Applicant requests, in addition to a service businesses with warehouse space allowed per Silt Trade Center Ordinance, allowing two employee housing units (on Lot 157); as allowed per Silt Trade Center Ordinance.
  2. A statement of the planning objective(s);  
Applicant would like to provide needed affordable housing options for employees of the warehousing units offered by this development
  3. A description of adjoining land use(s) and zoning;  
Adjoining Land uses are Silt Trade Center P.U.D B-2 Uses; Owners currently have a service building on Lot 156, directly West of the property.
  4. Existing zoning of the subject property;  
Silt Trade Center P.U.D; B-1 and B-2 Uses
  5. A statement regarding the proposal's conformance with the comprehensive plan and zoning; and  
Proposed structure complies with Silt Trade Center P.U.D; it's land use is allowed, and the property zoning allows proposed use
  6. A site plan map(s) depicting all proposed land use, including utilities, landscaping, structures, parking, and other development of any kind.

Refer to attached Site Plan

Below is an **example** of a Public Notice to be submitted to the newspaper and sent by certified, return receipt mail to property owners within 200 feet. The minimum public notice requirements are as follows:

Variances:	No less than 7 days prior to public hearing
All applications regarding a Planned Unit Development:	No less than 15 days prior to public hearing
Special Use:	No less than 15 days prior to hearing
Subdivision Exemption:	No less than 7 days prior to public hearing
Preliminary Plan:	No less than 7 days prior to public hearing
Comp Plan Amendment, Sketch Plan, Zoning, Rezone, Final Plan:	No less than 15 day prior to public hearing

Public Notices shall be published once per week, in a newspaper of general circulation, no less than the number of days as listed above. Public Notices to adjoining property owners shall be sent certified, return receipt and post-

### **Public Notice**

You are hereby notified that the Town of Silt Planning & Zoning Commission/Board of Trustees will conduct a Public Hearing to consider the following application. The Public Hearing will be held on \_\_\_\_\_, 200\_\_ at 7:00p.m. in Council Chambers at Silt Town Hall, 231 N. 7<sup>th</sup> Street.

Applicant:

Application Request:

Legal Description: (brief legal description is sufficient)

Common Description: (street address or general location)

For more information, contact the Town of Silt Community Development Department; PO Box 70, 231 N. 7<sup>th</sup> Street or call 970/876-2353. Please provide the name of the applicant and other notice information when asking department staff about this notice.

## TOWN OF SILT, PROOF OF PUBLIC NOTICE AND CERTIFICATE OF MAILING

Project: JSN Properties Silt Building II

I HEREBY AFFIRM THAT Public Notice requirements of the Silt Municipal Code have been met for the Public Hearing before the Silt Planning & Zoning Commission/Board of Trustees to be held on \_\_\_\_\_, 200\_\_.

In addition, I hereby affirm that on \_\_\_\_\_ day of \_\_\_\_\_, 200\_\_, I mailed first class, certified return receipt, a true copy of the attached Public Notice by placing the same postage prepaid in the United States Mail at \_\_\_\_\_, Colorado, addressed to those property owners on the attached list.

Attached are:

1. Certificate(s) of Mailing (green cards and return receipts)
2. Proof of publication from a newspaper of general circulation within the Town showing that prior to the meeting, the Public Notice was advertised as required per Silt Municipal Code.
3. List of names and mailing addresses of all surrounding property owners within 200 feet of subject property.

Justin or Shelli Nielsen

\_\_\_\_\_  
Name of Applicant (printed)

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

County of \_\_\_\_\_ )

)

ss.

State of \_\_\_\_\_ )

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ .  
(fill in day) (fill in month) (fill in year)

By \_\_\_\_\_  
Name (printed)

Witness my hand and official seal.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

## LAND USE APPLICATION FEES

Application	Fee	Deposit	SMC Section
Annexation	\$1,200	\$400	16.13.040
Annexation & Development Agreement amendment	\$400	\$400	16.13.130
Boundary Adjustment/Lot Line	\$100	\$0	16.04.907
Condominiumization	See Major	Subdivision	16.05.110
Easement Agreement and Amendments	\$500	\$500	2.44.110
Intergovernmental Agreement and Amendments	\$500	\$500	2.44.100
Major Subdivision-Sketch Plan	\$500	\$500	16.04.120
Major Subdivision-Preliminary Plan	\$800	\$800	16.04.180
Major Subdivision-Final Plan	\$500	\$500	16.04.270
Sign Exception	\$70	\$0	
Fence Exception	\$70	\$0	
Replat or Re-subdivision	\$500	\$0	16.04.945
Site Plan Review- Commercial/Multi-Family	\$500	\$0	17.42.030
Special Use Permit	\$250	\$0	17.78.040
Minor Subdivision-Sketch/Final	\$500	\$500	16.04.906
Subdivision Improvement Agreement Amendment	\$400	\$400	16.04.315
Vacation of Right of Way	\$400	\$400	2.44.120
Zoning Variance	\$250	\$0	17.84.080
Zoning or Rezoning	\$500	\$100	16.12.410

***\*Deposits must be included with application submittal. The deposit is used as security for department staff and consultant time to review the project application. Applicant shall also pay for fees and charges incurred by the town, such as legal fees, planning fees, engineering fees, and filing or recording fees, plus an administrative fee of 15% of the total consultant charges.***

### ATTACHMENTS/EXHIBITS MUST BE COMPLETE FOR SUBMITTAL.

Incomplete applications **will not** be reviewed until deemed complete.

### **Checklist below for Office use only.**

- 1] \_\_\_\_\_ A legal description of the property.
- 2] \_\_\_\_\_ Evidence of legal ownership. May be a deed, title commitment, title insurance policy, or attorney's opinion of ownership.
- 3] \_\_\_\_\_ Letter of consent. Required if the Applicant is not the property owner.
- 4] \_\_\_\_\_ List of property owners within 200 feet. Call Garfield County Assessor's Office at 970/ 945-9134 for information.
- 5] \_\_\_\_\_ Impact statement (description of how the proposed land use complies with the Town of Silt Municipal Code and Comprehensive Plan).
- 6] \_\_\_\_\_ A copy of the completed application in electronic format (Microsoft Word).
- 7] \_\_\_\_\_ A diskette, compatible with the Town of Silt GIS system, must be submitted before final recording of land use action. Mylars will not be signed prior to submittal of GIS disk. (For GIS information, call the Community Development Department, (970)876-2353.) Please do not print Final Plat Mylars until you receive approval by Town staff.

# Town of Silt Community Development

231 N. 7<sup>th</sup> Street, Silt Colorado 81652; (970)876-2353 ext. 108



## LAND USE ACTIVITY IMPACT STATEMENT

Name of Applicant: Justin or Shelli Nielsen Date: 07-14-23

Location of Property: 1845 Sliver Spur, Silt, CO

Land Use Request: Site Plan Review

Please answer the following questions to the best of your ability. Attach additional pages as needed.

1. Is your request compatible with the Silt Municipal Code? Yes/No

2. Is your request compatible with the Silt Comprehensive Plan? Yes/No

If not, how is your request useful to the Town of Silt?

3. Explain how your request is compatible with the immediate area surrounding the site.

Proposed structure complies with Silt Trade Center P.U.D; it's land use is allowed, and the property zoning allows proposed use

4. How is your request desirable for the Town of Silt?

Applicant would like to develop 2 residential units for local workers and provide trade warehouse space on this Lot.

5. Detail any real or possible environmental, town service, or other impacts your request may have.

No apparent negative impact



6. Are there or have there ever been any landfills on any part of the property included in your request? Yes/ No

7. Please mark all the concerns or impacts listed below which apply to your request and give a brief statement about how you have addressed them.

no concerns

- a. \_\_\_\_\_ traffic
- b. \_\_\_\_\_ town services (water, sewer, etc.)
- c. \_\_\_\_\_ signage
- d. \_\_\_\_\_ open space
- e. \_\_\_\_\_ schools
- f. \_\_\_\_\_ emergency services (police, fire, medical)
- g. \_\_\_\_\_ other utilities (electrical, etc.)
- h. \_\_\_\_\_ other (pollution, etc.)

Please list any other items or information which you feel would be of help in assessing your application.

**TOWN OF SILT**  
**PLANNING COMMISSION STAFF REPORT**  
**Public Hearing Action Item- Site Plan Review**  
**Tuesday, September 5, 2023 6:30 PM**

**Project:** Brewzone Site Plan Review  
**Location:** 502 Front Street, Units 504 & 506 and 550 Front Street  
**Applicant:** Rich Lynch, Dba All in Brewing, LLC  
**Owner:** M&M Ventures  
**Current Zoning:** B-3  
**Proposed Zoning:** No Proposed Change  
**Present Land Use:** Commercial Office and Retail Space  
**Proposed Land Use:** Brewery & Food Truck

**Description of Request**

All in brewing, LLC proposes to open a brewery and food truck at 502 Front Street, Units 504 & 506, as well as 550 Front Street, the adjacent, vacant, lot to the east.

Mr. Lynch has provided the operating plan for the proposed business, with the below pertinent information:

- Hours of operation will be Wednesday, Thursday and Friday from 3pm – 9pm, Saturdays from noon to 8pm and Sundays from noon to 6pm. The hours of operation could change or be altered for private parties, however it is stated that the business will not operate past 10pm, to the general public.
- There will be indoor and outdoor seating, as well as a walk-in cooler and secured brewing area
- All in Brewing has stated that they will be compliant with all required liquor licensing
- This operation will be a small batch brewery, using an estimated 700 gallons per month
- Mr. Lynch does not believe that there will be any hazard to the community or wastewater plant, as the yeast is organic and once fermented then cleaned, the yeast is diluted, so it will no longer be active and safe for the Town water system.
- No hard liquor will be served or consumed on premise.
- Bring your own food is encouraged and All in Brewing will provide snacks, such as pretzels and chips.
- The proposed food truck will be hooked to the building utilities and different food trucks are encouraged to alternate in and out, creating a variety of options.
- Proper signing will be posted for liquor consumption

- Servers will obtain and uphold the “responsible servers” certification and not serve to anyone under the age of 21.
- Live music will be provided indoors and outdoors, weather dependent. Music will not exceed past 9pm and will not exceed the Town’s noise ordinance.
- A portion of the vacant lot will be set up with games, such as cornhole.
- There will be 24-hour surveillance of the brewery, both inside and outside

## The Property

The property is located south of Main Street, on the 500 block of Front Street. The indoor rental space is approximately 3,000 square feet and the outdoor space is approximately 11,000 square feet.



## Comprehensive Plan

The Comprehensive Plan, as amended in 2017, designates this parcel with a Commercial and Support Land Use Designation. Those properties within the Comprehensive Plan Land Use Designation of “Service and Commercial Support” are outside of the Town’s Downtown area, but are expected to have good visibility from Main Street and/or the I-70 corridor. The “Service and Commercial Support” designation is not expected to extend more than two blocks north of

Highway 6. For this reason, it is appropriate to expect that these properties will provide the Town with solid retail and service commercial businesses, such as construction related businesses like supply companies, office-type businesses such as real estate offices, craftsmen type businesses such as cabinet makers, and other services such as auto repair and small appliance repair, hotels, and convenience stores. These properties should look inviting and aesthetically professional, and the structures should have a western appeal or theme if possible. This area is crucial for the Town's employment picture, providing local jobs within the core of the community, and keeping the residents close to enjoy the time not spent working with their families and friends. While retail businesses may not be the main focus in the "Service and Commercial Support" area, it is important for the Town to encourage any business that provides clean commercial without air pollution, noise, undesired odor, vibration or wasted resources. As the Town and/or businesses grow(s), this Comprehensive Plan Land Use Designation will have to shrink in order to accommodate a larger "Downtown" area.

### **Staff Findings and Conclusions**

Overall, staff finds that this application and proposal align with the comprehensive plan and expansion of the downtown area.

The brewery operating in a B-3 zone district is a use by right. The food truck requires a Site Plan Review, if operating for more than 3 consecutive days, or if it's being attached to Town utilities. As All in Brewing has stated, they plan to have utility hook-ups and if not a stationary food truck, they are open to alternating food trucks for different options of food.

Town Staff believes that the brewery and food truck will draw local and traveling customers, helping to drive commerce in Silt.

### **Planner Recommendation**

Staff recommends approval of the Site Plan Review for All in Brewing LLC at the proposed location with the following conditions:

- 1) That all statements made by the applicant both in the application and in any meetings before the Planning and Zoning Commission be considered conditions of approval, unless modified in any subsequent conditions.
- 2) That the applicant obtains all necessary liquor license requirements from the State of Colorado and provide evidence of these approvals to the Town Clerk.
- 3) That the applicant obtains a building permit for all improvements within the structure as well as for any improvements for an outside patio.
- 4) That the applicant notifies the Town Department of Community Development on any proposed changes over time and/or expansion of activities within the building or anywhere else on the premises including areas for outside liquor consumption such as a patio. Said changes may require additional land use applications, permitting or licensing.
- 5) That the Applicant/Owner coordinate with the Public Works Director as part of the building permit process and make appropriate arrangements to mitigate any potential wastewater issues related to spoiled brewing affluent and/or other items

that could adversely impact the town's wastewater treatment system

6) That the applicant acquires the proper licensing through Garfield County Public Health and the Town of Silt for the Business and Food Truck, prior to the Food Truck being placed on the property and operating.

7) That the applicant provides any additional requested documents and pay any remaining fees, prior to operating business.

8) That this approval is not for construction, but rather approval for the use of the land. Additional licensing and permitting will be required separately.

**Recommended Motion: I move to approve the Site Plan Review for All in Brewing LLC, with the conditions noted above or verbally added during this meeting.**

# ALL IN-BREWING LLC

## OPERATIONS PLAN

DBA "BREWZONE SILT"

8/30/2023

Owners / Operators

Richard Lynch

Hong Xu

504, 506 Front Street

Silt, CO 81652

State Manufacturer license # 03 – 15833

State wholesale license # 03 – 15834

Federal License # BR – CO - 21499

Please accept this control and operation plan for the proposed Brewery, tasting room and food truck for All in brewing LLC at 504 and 506 Front Street, Silt.

The Brewery will be in the 504 sections of the space. The beer storage and sales, will be in unit 506 side of the space. This includes wholesale and retail sales. The areas will be open to either side so the guests will be able to observe the brewing process. The brewing equipment will be protected by a railing to keep guest from entering the brewing area. The total interior square footage of the brewery and sales area is 3,000 square feet. All in Brewing has also secured the entire lot to the east of the building to assure plenty of private parking which is around 11,000 square feet. we do not feel we will need to expand parking any time in the near futures as our traffic varies.

All Brewing will be done on site per state and federal licensing and will be inspected by the state enforcement officer to assure compliance and to assure that the plans match our operations. The brewery is currently operating in Rifle Colorado for the past year. All In Brewing remains in good standing with the state liquor control board. As a manufacturer and distributor we follow federal and state regulations.

We are excited to move back to silt for the long term as this was the plan in 2021 and 2022. We will only be brewing and serving our beer recipes with no hard liquor being produced or sold under this license.

We are a small batch brewery and our experience has been that we will use less than 700 gallons of water per month at the brewery both for production and cleaning.

All left over grain is donated to local farmers for pig feed. For cleaning we use an oxygen based cleaner and sometimes an alkaline based cleaner as well as a food grade sanitizer for cleaning and sanitation. Our process presents no hazards to the community or sewer plant. As discussed with the utilities director in the past, our yeast is organic and once used in the fermenter and cleaned the yeast is so diluted with water and cleaner that it is no longer active and is extremely safe for the public sewer system. Our brewing system will be no larger than 4bbl (125 Gallons) as we believe in brewing many different types of beer at small batches.

Unit 506 is where the “walk in cooler” will be installed as well as a bar for serving. Breweries are typically not “hang outs” like a local Bar or pub would be. We have created a family atmosphere where people can bring their children, dogs, or even their own food from home and relax and play games while tasting our beers. Typically, most guests will choose a flight, taste 4 different beers in small glasses and then buy take out to consume at home. Others will enjoy a pint of two of something different or their favorite brew. We have not encountered any issues with guests leaving “buzzed” or intoxicated as may be the case where hard liquor is served.

All in Brewing encourages guests to bring take-out food, food from home or have food delivered to eat while tasting our beers. We also always have free snacks on hand such as pretzels, chips, etc. to ensure guests have food to snack on. One of the biggest reasons we are excited to be in silt is that we get to have a food truck at our location as well as we will be able to invite other food trucks to come to the brewery as to provide a selection of different foods and allow other food trucks vendors a chance to sell their goods. This enables our guests to be able to enjoy more of a meal type snack other than just pretzels and chips.

The food truck of course will be licensed by the Garfield county health department, will have a grease trap that will be cleaned weekly or bi weekly (depending on usage) by a certified vendor and will be parked on the north east corner of the building for convenience for our guests. As we planned previously, we intend to hook the food trailer / truck to the buildings electric and sewer in accordance with all Silt and state requirements and will be inspected and certified. This will ensure that there is no impact on the sewer system, storm drains or water supply.



Another exciting part of this location is the south facing patio that we intend for the space. This area will be a more private setting, we can provide better shade and best of all there are no homes within the vicinity of the patio. The outdoor area will be included in the licensing and will have a railing per state and federal licensing requirements with posted signs reading "no Alcohol beyond this point" Take out beer cannot be opened and consumed in the brewery or in public, all take out beer must be consumed off premises per state requirements.

All our servers have and will always complete the "responsible servers" course in order to serve and will be required to be over 21.

Our guests and followers have enjoyed live music at the brewery and we want to continue this in Silt. The space we are now in is a more downtown location where we feel it is responsible to the neighboring businesses and homes that the music be over by 9 P.M and since we are a family establishment the music will not be permitted to be too loud. We are also looking forward to working with the city on public events, providing our beer at these events as well as sponsorship and music. We will be far under the noise ordinance and do not see any negative impact to the community concerning the live music. We intend to have music inside as well as outside when weather permits.

All in brewing will also have licensing included in a section of the lot to the east just adjacent to the building for the food truck as well as an area where cornhole and other games can be played. We would also like to provide some shading of this area with approval from the planning and building departments. Per State and federal Law, a railing or fencing will need to be installed in this area to ensure that no consumption happens outside the licensed area. We will work with the city on the type of fencing used as to keep the aesthetics in line with the Silt building requirements.

The bar area as well as the patio area will be secured with 24hr security cameras that record. All in brewing owners and employees will monitor and enforce our rules and if we must, we will contact authorities to make sure of compliance by our patrons.

All In Brewing and its employees will monitor all areas to make sure compliance with all city and state laws are being followed. All take out beverages will be marked per state laws and will not be permitted to be opened inside the bar area or on the patio.

We feel this small batch brewery will be welcomed here in Silt and fits in to the comprehensive plan as not only a business that will provide a few good jobs but also will provide tax dollars to the city. We also believe the Brewery will attract more tourist that tend to seek out breweries and will provide more exposure to already established local businesses. We do have a solid silt following already as we have guest that come from silt to visit us in Rifle. The brewery will bring more people to the downtown area to enjoy and to have more options which brings diversity to the businesses that are already in silt. We will work with every business in town and will consider the city a “partner” and we really look forward to silt being our home finally and officially.

Our hours of operation May change according to weather of course; However, we will never be open to the public past 10:00 P.M. (Only for private parties) Last call will be 9:00 to 9:30 P.M. Typically.

Monday & Tuesday Closed

Wednesday, Thursday & Friday 3:00 PM To 9:00 P.M.

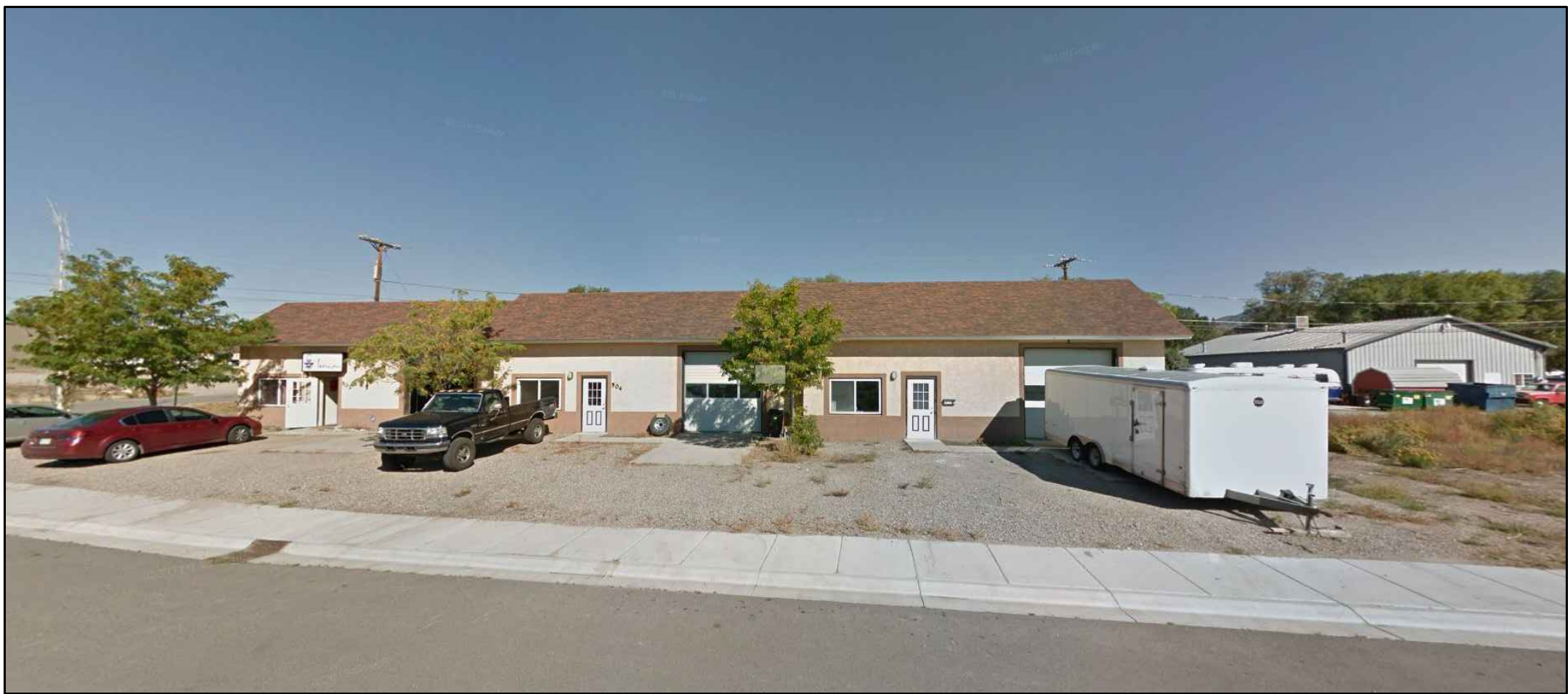
Saturday 12:00 P.M. To 8 P.M.

Sunday 12:00 P.M. To 6 P.M.

Sincerely,

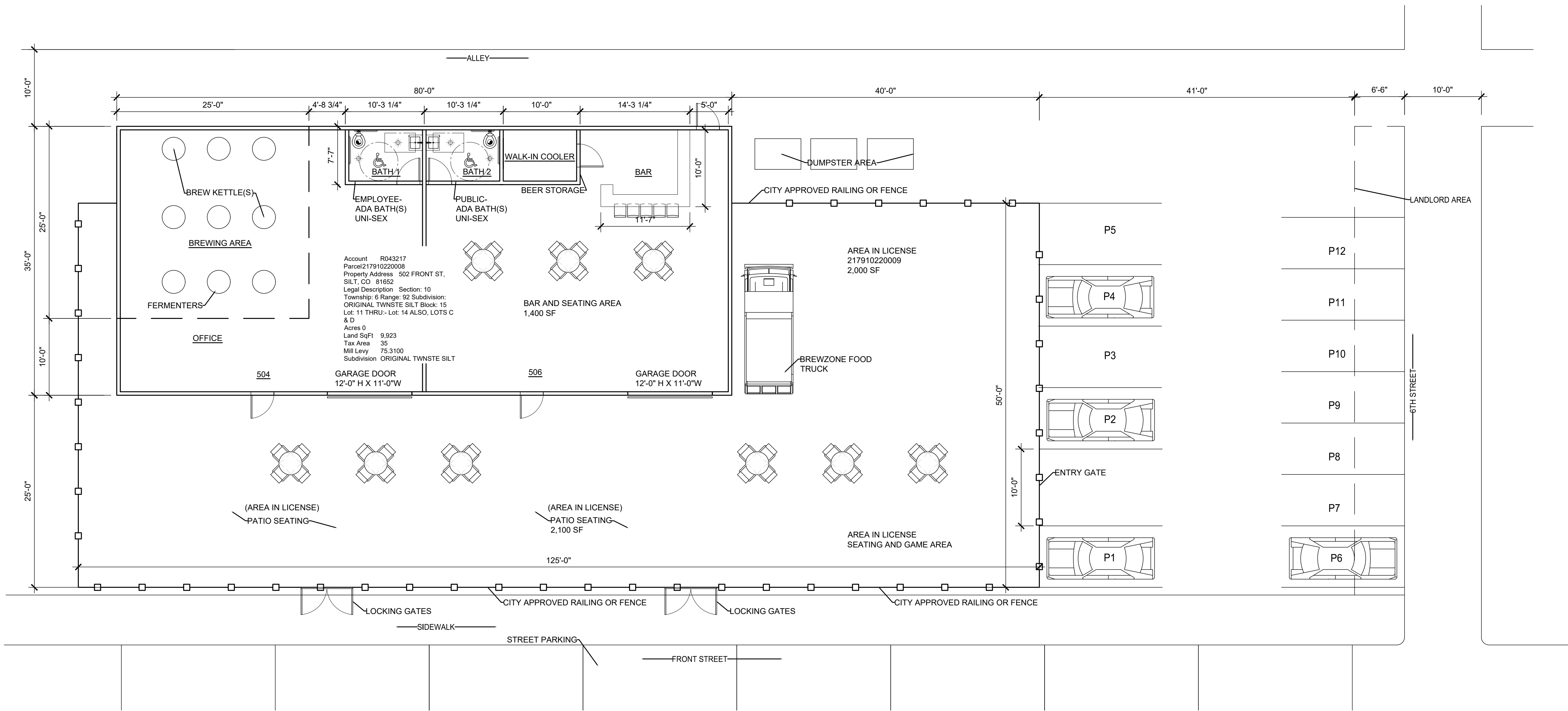
Richard Lynch  
All In Brewing LLC  
Managing Partner

ALL IN BREWING  
DBA "BREWZONE SILT"  
RICHARD LYNCH  
ALLINBREWINGLLC@GMAIL.COM  
1-303-910-9063



Account R043217  
Parcel 217910220008  
Property Address 502 FRONT ST, SILT, CO 81652  
Legal Description Section: 10 Township: 6  
Range: 92 Subdivision: ORIGINAL TWNSTE SILT  
Block: 15 Lot: 11 THRU:- Lot: 14 ALSO, LOTS C & D  
Acres 0  
Land SqFt 9,923  
Tax Area 35  
Mill Levy 75.3100  
Subdivision ORIGINAL TWNSTE SILT

**ALLIN BREWING LLC**  
504 & 506 FRONT ST.  
Silt. CO. 81652  
  
**GENERAL CONTRACTOR:**  
RICHARD LYNCH  
ALLINBREWINGLLC@GMAIL.COM  
1-303-910-9063



**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

**BREW ZONE SILT**  
504 & 506 FRONT STREET  
SILT, CO. 81652

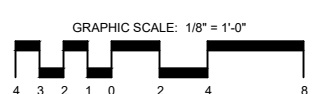
DRAWN BY: PAMELA SUDMEIER DESIGN

**ISSUE DATE:**  
08-07-2023

**SHEET TITLE**

**SITE PLAN**  
**A-1.1**

©PAMELASUDMEIERDESIGN  
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**DEPARTMENT OF THE TREASURY**  
**ALCOHOL AND TOBACCO TAX AND TRADE BUREAU (TTB)**  
**BREWER'S NOTICE**

**Brewery's Section**

1. This is notice serial number 2023227

2. The notice date is 08/15/2023

3. Our brewery's name is

ALL IN BREWING LLC

4. Our trade name is

5. Our business address is

11115 AFFINITY CT, UNIT 2,, SAN DIEGO, CA 92131

*(Number and Street) (City) (County) (State) (Zip Code)*

6. Our brewery location is

504 AND 506 FRONT ST SILT, CO 81652

*(Number and Street) (City) (County) (State) (Zip Code)*

7. Our main contact person is

Richard Joseph Lynch

*(Name)*

TTB can reach me at

303-910-9063

*(Phone Number)*

**Brewery Description**

8. Our phone number at the brewery is

9. Our E-mail Address is

allinbrewingllc@gmail.com

10. Our brewery operates as a:

☒ Brewery

☐ Brewpub *(You must complete items 19 and 20.)*

☐ Pilot Brewing Plant

*(check one only)*

11. We are a: *(check one only)*

☐ Sole Proprietorship

☐ Partnership

☐ Corporation

☒ Limited Liability Company

☐ Limited Partnership

12a. Our employer identification number is: *(for example: 12-3456789)*

84-2332265

12b. Title to premises and equipment (list names and addresses of owner of land or buildings, or if any other mortgage or encumbrance on the land or buildings of the brewery).

*(See Attached)*

13. Brewer's Business Day 12:00 AM (List only if different than 12:00 am through 11:59pm.)

14. We are filing this notice to:

☐ give TTB our original notice that we intend to engage in the business of producing beer.

☒ amend our previously approved original notice (Registry No. BR-CO-21499) for the following reason(s):

☐ add or delete (circle one) a trade or operating name (attach registration, if your state requires, of new trade or operating name) . List new trade names(s) in Item 4 or on a separate sheet of paper. List deleted trade name(s) on a separate sheet of paper.

☒ show a change in brewery premises *(attach description of change)* .

☐ make changes in officers, directors, members, stock, or interest distribution *(attach description of change; you must file personnel questionnaires for new personnel and any new person owning 10% or more of total stock)* .

☐ discontinuance of business as of: *(date)* \_\_\_\_\_

☐ other \_\_\_\_\_

15. A. We are ☐ or are not ☒ members of a controlled group of breweries. (List all breweries with shared ownership on a separate sheet of paper.)

B. If you are a member, will the controlled group of breweries produce more than 60,000 but less than 2,000,000 barrels of beer per year? (if so, describe how the reduced rate of tax will be apportioned among brewery members in the controlled group.)

16. The Internal Revenue Code (IRC) provides that if you produce not more than 2,000,000 barrels per year, you are entitled to a reduced rate of tax on your first 60,000 barrels. What is your estimated production in barrels per year? *(check one)*

☐ More than 2,000,000 barrels per year. We are not entitled to the reduced rate.

☐ More than 60,000 barrels per year, but not more than 2,000,000 barrels per year. We are entitled to the reduced tax rate on our first 60,000 barrels removed for consumption or sale.

☒ Not more than 60,000 barrels per year. We are entitled to the reduced tax rate on all beer removed for consumption or sale.

## Signing Authority For Corporate Officials

17. I am ☐ or am not ☒ required to furnish a bond under 27 CFR 25.91. I am not required to furnish a bond only if all of the following are true: I will withdraw beer for deferred payment of tax under 27 CFR 25.164, I was liable for not more than \$50,000 in beer taxes in the preceding calendar year, and I reasonably expect to be liable for not more than \$50,000 in such taxes during the current calendar year.

18. We held our board meeting with (check one)

☐ Directors ☐ Trustees ☐ Managers ☐ Governors Date of Meeting \_\_\_\_\_

We authorize the following corporate officials, employees, or incumbents of the listed offices to execute all documents and to do all acts for us in dealing with the Alcohol and Tobacco Tax and Trade Bureau. (You must impress your corporate seal. If you do not have one, two witnesses must sign.)

By the authority of our board, I certify that this authorization is true and complete.

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Corporate Seal:

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Witness: \_\_\_\_\_

Witness: \_\_\_\_\_

## Brewpub Applicant Information (If you are a brewpub, you must complete this section.)

19. We are a brewpub. Our entire business location is the brewery premises. We understand that by initialing these boxes, we acknowledge that:

- ☐ a. We must separate the brewery operations (non-public area) from the public area of the brewery premises by an adequate partition. Access to the brewery operations must be restricted to authorized visitors and employees only.
- ☐ b. The serving tanks as noted on our **attached diagram** are our tax-determined beer tanks. These tanks have a working capacity of approximately \_\_\_\_\_ barrels/kegs and are accurately calibrated with appropriate measuring devices.
- ☐ c. We must transfer beer ready for consumption or sale from our fermenters into an empty tax-determination tank for measurement by the approved measuring device. We will make prompt and accurate records of these transactions to determine tax due.
- ☐ 20. We plan to sell retail liquors other than beer. We must file a special occupational tax registration as a retailer before we start these sales.

## Attachment Section

21. You must make attachments to complete an original notice. You may also need additional information for an amended notice.

Check all the blocks here for your attachments for this notice. For original Brewer's Notices, you must attach all documents for your type of business organization. For amended Brewer's Notices, some forms are mandatory, while others may be optional.

- |   |  |
|---|--|
| <input type="checkbox"/> Articles of Incorporation/Organization (Corporations/LLCs)               | <input type="checkbox"/> Personnel Questionnaires (for <b>all</b> owners/officers/directors/partners/members/stockholders of over 10%) |
| <input type="checkbox"/> Trade Name Registrations (if required by state)                          | <input type="checkbox"/> By-Laws (Corporations/LLCs)   |
| <input type="checkbox"/> Certificate to Transact Business in a Foreign State (if applicable)      | <input type="checkbox"/> Partnership Agreement   |
| <input type="checkbox"/> Power of Attorney (TTB F 5000.8, or Corporate Resolution)                | <input type="checkbox"/> Environmental Information (TTB F 5000.29)   |
| <input checked="" type="checkbox"/> Diagram (or Plat/Plan) with dimensions of the brewery         | <input type="checkbox"/> Diagram for Brewpub as required   |
| <input type="checkbox"/> Legal description of the Brewery   | <input type="checkbox"/> Statement Describing the Security at the Brewery  |
| <input type="checkbox"/> Supplemental Information on Water Quality Considerations (TTB F 5000.30) |  |
| <input type="checkbox"/> Other _____  |  |

All statements and documents are part of this notice. Under penalties of perjury, I declare that I have examined this notice and all attachments and to the best of my knowledge and belief they are true, correct, and complete.

22. Signature of Authorized Person

Date

23. Printed or Typed Name and Title

Richard Joseph Lynch

Mail this completed package with all attachments to:

Director, National Revenue Center, 550 Main St, Ste 8002, Cincinnati, OH 45202-5215

## TTB Section - For TTB Use Only

This Notice is:

☒ Approved

☐ Not Approved

Effective Date:

Approval Date:

08/31/2023

Director, National Revenue Center

Heather JS Taylor

Registry Number:

BR-CO-21499

## General Instructions

### 1. Where do I send my application?

File this form with TTB at this address: Director  
National Revenue Center  
550 Main St, Ste 8002  
Cincinnati, OH 45202-5215

### 2. When may I start Brewing? You may not operate your brewery until we approve your Brewer's Notice (including all attachments) and your Brewer's Bond (if a bond is required under 27 CFR 25.91).

### 3. When must I file a Brewer's Notice? You must file this form:

- To start business at your brewery premises;
- To amend or supplement information you previously submitted or;
- In connection with a new bond.

### 4. Do I need to file any other documents with the Brewer's Notice? You must file the attachments this form requires. Also, we may require you to furnish any additional information we find necessary to protect revenue and insure collection of taxes.

### 5. What happens if I do not complete this notice? We will return your notice to you for correction if it is not completed in accordance with these instructions or does not include all of the required information and documents. If you do not complete the notice you may not produce or package beer.

### 6. What items do I need to complete on this notice? You must complete all items on this notice that apply to your business, regardless of the purpose for which you are filing.

### 7. How long must I keep my copy of this notice? At your brewery you must keep available for TTB inspection during your normal business hours:

- Your most recently approved Brewer's Notice and
- All attachments and documents that provide current and complete information of this form.

## Specific Instructions

**Item 1. What serial number do I use?** Serially number each notice. Begin with No. 1 for the first notice and continue in sequence for each amendment or supplemental notice you file after you start business.

**Item 2. What is the notice date?** The date that you submit this notice for approval.

**Item 3. What is my brewery's name?**

If you are....	Then your name is....
An individual	Your name, followed by "sole owner" and the name you use to operate
A partnership	The name of each partner followed by the name you use to operate
A limited partnership (LP)	The name of your LP
A corporation or limited liability corporation (LLC)	The corporation or LLC name and, if different, the name you use to operate

**Item 4. What if I use a trade name?** You must list all trade names you use to do business or to package beer. Approval of a trade name does not necessarily constitute approval as a brand name for labeling purposes. Submit your requests for brand names to the Alcohol Labeling and Formulation Division on an Application for and Certificate/Exemption of Label/Bottle Approval, TTB F 5100.31. If your State requires you to register your trade name, you must submit a copy of the State trade name registration.

**Item 5. What is our business address?** Your business address may be different than the actual location of the brewery. Your business address is where you receive mail deliveries and you conduct office activity. You must include the county of this address.

**Item 6. What is our brewery location?** Your brewery location is where you actually brew your beer.

**Item 7. Who may be a contact person?** Your contact person must be someone who has authority to speak or write to any of our officers regarding any aspect of your brewing operations. You must file with us a signing authority or power of attorney for this person.

**Item 15. What information must I provide if I am a member of a controlled brewery group?**

1. A controlled brewery group is a group of breweries that share common ownership or controlled interest. Controlled groups of breweries include groups where:
  - (a) one brewery owns controlling interest in the other brewery or
  - (b) there is a common ownership in the controlling interest in each brewery
2. If you are a member of a controlled group of breweries and you intend to transfer beer between breweries without payment of tax, you must:
  - (a) give the name and principal business address of each of the other breweries; and
  - (b) state whether condition 1.(a) or condition 1.(b) applies. If condition 1.(a) applies, state which brewery owns controlling interest in the other and the percentage of that interest. If condition 1.(b) applies, give the name and principal business address of the person owning controlling interest in both breweries and state the percentage of interest in each brewery.
3. If you are a member of a controlled group of breweries and the total production of all breweries in the controlled group is less than 2,000,000 barrels of beer per year, you may be eligible to pay tax at the reduced rate. You must:
  - (a) give the name and principal business address of each of the other breweries;
  - (b) provide a list to allocate the reduced tax for 60,000 barrels between the members of the controlled group; and
  - (c) state whether condition 1.(a) or condition 1.(b) applies, if condition 1.(a) applies, state which brewery owns controlling interest in the other and the percentage of that interest. If condition 1.(b) applies, give the name and principal business address of the person owning controlling interest in both breweries and state the percentage of interest in each brewery.

**Item 18. Who may sign for my corporation?** You may indicate signature authority in two ways.

- **By corporate office:** In item 18 you may list the corporate offices or employees whose incumbents may sign for your corporation. Check the box that indicates how your board authorized these officers to sign. Include the date of the meeting. List the offices by title. Attach your corporate seal. These authorities remain with the office when you change personnel in that office.
- **By name:** you may authorize specific individuals to sign by executing a power of attorney (*use TTB F 5000.8*) or a signing authority for corporate officials (*use TTB F 5100.1*). You may limit these authorities to specific actions. For instance, you may grant a signing authority limited to monthly reports.

**Item 19. When must I initial the brewpub information?** Operating as a brewpub means that you will not be bottling beer but rather that you will be dispensing beer only from serving tanks. If this is the case, then you must initial each box and provide tank capacity to demonstrate that you understand special considerations for operating taverns on brewery premises.

**Item 21. What are the attachments for my type of business?** Follow these instructions. You must attach the organizational information and documents we require for your type of business.

If you are a....	Then you must file....
Sole proprietor	- A list with the name and address of each person who holds an interest in the brewery, whether the interest appears in the name of the interested party or in the name of another for that party.
Partnership	- A copy of (1) articles of partnership or association, if any; or (2) the certificate of partnership or association if required to be filed by any State, county, or municipality. - A list with the name and address of each person who holds an interest in the brewery, whether the interest appears in the name of the interested party or in the name of another for that party.
Corporation	- A copy of the corporation charter or of the certificate of corporate existence or incorporation. - A list with the name, address, and title of each officer and director. - Copies of extracts or digests of minutes of meetings of the board of directors authorizing certain individuals to sign for the corporation. - A statement showing the number of shares of stock (or other evidence of ownership) authorized and outstanding and the voting rights of the respective owners. - A list with the names and addresses of all persons having a voting interest of 10 percent or more in the corporation whether the interest appears in the name of the interested party or in the name of another person. For each person listed, show the amount of the stockholding or other interest.

- a. May I refer to information that I filed for another operation?** If you have already filed information with us, you may incorporate that information by reference if that information is complete and accurate. You may, instead of resubmitting that information, provide a statement that:
- identifies the other premises by operating name, type (*brewery, winery, etc.*), and location (*city and State*) ; and
  - specifies which organizational information and documents are being incorporated. You must attach all organizational information and documents you do not incorporate by reference.
- b. What must I keep available for TTB inspection?** You must keep available for our inspection the originals of the corporate documents we require under item 21 of this notice and certain other corporate documents(*articles of incorporation, bylaws, State certificates authorizing the brewer to operate in the State where located*). Each brewer's notice filed by multi-plant brewers must state, as part of the response to item 21, the location where we may inspect these original corporate documents.

**Item 22. Who is the "authorized person" who must sign this notice?** These are the persons authorized to sign this notice:

If you are a....	Then you must file....
Sole proprietor	- signed by the sole owner or - an empowered attorney-in-fact.
Partnership	- signed by all partners, or - a partner authorized to sign on behalf of all of the partners, or - an empowered attorney-in-fact
Corporation	- executed in the corporate name, followed by the signature and title of a person authorized to act for the corporation



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### Paperwork Reduction Act Notice

This request is in accordance with the Paperwork Reduction Act of 1995. We use this information collection to determine your identity as a brewer, the location and extent of your brewery premises, and whether your brewery operations conform with Federal laws and regulations. The information we request is required for you to obtain or retain a benefit and is mandatory by law (26 U.S.C. 5401(a)).

We estimate the average burden associated with this collection of information is 3 hours per respondent or recordkeeper, depending on your individual circumstances. Address your comments concerning the accuracy of this burden estimate and suggestions to reduce this burden to: Reports Management Officer, Regulations and Rulings Division, Alcohol and Tobacco Tax and Trade Bureau, 1310 G Street, NW., Box 12, Washington, DC 20005.

An agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless it displays a current, valid OMB control number.

### Privacy Act Information

We provide this information to comply with Section 3 of the Privacy Act of 1974 (5 U.S.C. 552a(e)(3)):

1. **What is TTB's authority to ask for this information?** We require this information under the authority of 26 U.S.C. 5401(a). You must disclose this information to obtain authority to conduct brewing operations.
2. **What is the purpose for this information collection?** You provide this information to give TTB notice of your intention to establish a brewery, so that we may identify you as a brewer, and to identify your brewery location and processes.
3. **How does TTB routinely use this information?** We use this information to make determinations for the purposes described in paragraph 2. Also, we may disclose the information to other Federal, State, foreign, and local law enforcement and regulatory agency personnel to verify information on the form where such disclosure is not prohibited by law. We may disclose the information to the Justice Department if it appears that the furnishing of false information may constitute a violation of Federal law. Finally, we may disclose the information to members of the public in order to verify information on the form where such disclosure is not prohibited by law.
4. **What is the effect of my not supplying the information TTB requests?** If you fail to supply complete information then we will delay processing and may disapprove or deny your application.

# ATTACHMENT TO BREWER'S NOTICE

**Item 4:** Our Trade Name is:

Labeling Trade Name                      ALL IN BREWING LLC

OTHER PURPOSE FOR WHICH FILED:

**Item 12:** Title to premises and equipment (list names and addresses of owner of land or buildings, or if any other mortgage or encumbrance on the land or buildings of the brewery).

Does the applicant own the land or building comprising the brewery?

Yes

☐

No

☒

If yes, please provide us with the name and address of any mortgagee, or other person who has a claim on the land or buildings comprising the brewery. If there is no mortgagee, or other claim on the land or buildings, please enter "Not Applicable"

If no, please provide us with the name/address of the owner of the land or buildings comprising the brewery, and of any mortgagee, or other claim on the land or buildings comprising the brewery

M & M VENTURES INC  
1435 AIRPORT ROAD  
RIFLE CO 81650

**Item 15B:** If you produce more than 60,000 but less than 2,000,000 barrels you would qualify for the reduced rate on the first 60,000 barrels. Give the allotted barrels for each location at the reduced rate.

## MEMBERS OF CONTROLLED GROUP

**Item 17:** We authorize the following corporate officials, employees, or incumbents of the listed offices to execute all documents and to do all acts for us in dealing with the Alcohol and Tobacco Tax and Trade Bureau. (You must impress your corporate seal. If you do not have one, two witnesses must sign.)

Applies to All Permits	Yes
Authority Granted by	Name
First Name	Richard
Last Name	Lynch
Title	Member
Title if Other	

Applies to All Permits	Yes
Authority Granted by	Name
First Name	Hong
Last Name	Xu
Title	Member
Title if Other	CEO

Describe the entire tract of land by using directions and distances:

217910220008

Property Address    502, 504 and 506 FRONT ST, SILT, CO   81652

Section: 10 Township: 6 Range: 92 Subdivision: ORIGINAL TWNSTE SILT Block: 15 Lot: 11 THRU:- Lot: 14 ALSO, LOTS C & D 39.546591 -107.657443

Describe the brewery premises.

The space is 2 units #504 and #506 side by side 1500 square feet each. Each unit measures 40 x 35. The units each has an 11' x 11' overhead garage door as well as 2 3' x 7' entry doors. Building is masonry with wood frame roof and drywall finish on walls and ceilings and concrete floors. The brewing Area will be in unit 504 and will utilize 900 square feet of space. The tasting room, beer storage will be in unit 506 and will be open to unit 504 and will consist of a walk-in cooler and a bar for serving. There will also be seating inside both units. The outdoor patio area in the licensing will be at the south elevation as well as the east elevation and will be approx 6000 square feet. a food truck will be permanently installed in this area as our food service for our customers.

If a brewpub, you must identify the portion of the brewery which will be operated as a tavern by providing the boundaries of the tavern.

You must identify areas of the brewery which are accessible to the public and areas which are not.

Describe security measures to be used to segregate public areas from non-public areas.

Describe in detail the method to be used for measuring beer for the purpose of tax determination. Identify the tanks which will periodically contain tax-determined beer, and any other areas where tax-determined beer will be.

Provide description of the brewery security. Brewery building must be arranged and constructed to give adequate protection to the revenue. Describe locks, access to the brewery and how un-taxpaid goods will be protected during and after business hours

Brewery will have 24 hour cameras recording all areas inside units 504, 506 as well as all outdoor seating areas and food truck. A central fire and burglary alarm will be installed as well. Key locking doors.

Description of Non-Contiguous Locations

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**TOWN OF SILT  
RESOLUTION NO. PZ- 4  
SERIES OF 2023**

**A RESOLUTION APPROVING OF THE TOWN OF SILT, COLORADO,  
TO ALLOW FOR WITHIN THE TOWN OF SILT, GARFIELD COUNTY, STATE  
OF COLORADO**

**WHEREAS**, All in Brewing submitted an application for a site plan review ("Application") on or about August 3, 2023 requesting that they be allowed to operate a brewery and food truck from 502 Front Street, units 504 & 506, as well as 550 Front Street; and

**WHEREAS**, Town Staff processed the application and forwarded the application as well as staff comments about the application and various memoranda to the Town Planning and Zoning Commission ("Commission"); and

**WHEREAS**, the commission reviewed and discussed the application at its regular meeting on September 5, 2023; and

**WHEREAS**, upon proper consideration there is a finding that it is reasonable to approve the proposed use, as it aligns with the 2017 Silt Comprehensive plan, and it doesn't appear to have any significant negative impact to adjacent properties.

**NOW, THEREFORE BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SILT, COLORADO, THAT:** the Site Plan Review for a food truck and brewery is hereby granted for 502 (units 504 & 506) and 550 Front Street within the Town of Silt, Colorado ("Town") subject to the following conditions:

1. That all statements made by the applicant both in the application and in any meetings before the Planning and Zoning Commission be considered conditions of approval, unless modified in any subsequent conditions.
2. That the applicant obtains all necessary liquor license requirements from the State of Colorado and provide evidence of these approvals to the Town Clerk.
3. That the applicant obtains a building permit for all improvements within the structure as well as for any improvements for an outside patio.
4. That the applicant notifies the Town Department of Community Development on any proposed changes over time and/or expansion of activities within the building or anywhere else on the premises including areas for outside liquor consumption such as a patio. Said changes may require additional land use applications, permitting or licensing.
5. That the Applicant/Owner coordinate with the Public Works Director as part of the building permit process and make appropriate arrangements to mitigate any potential wastewater issues related to spoiled brewing

- affluent and/or other items that could adversely impact the town's wastewater treatment system
6. That the applicant acquires the proper licensing through Garfield County Public Health and the Town of Silt for the Business and Food Truck, prior to the Food Truck being placed on the property and operating.
  7. That the applicant provides any additional requested documents and pay any remaining fees, prior to operating business.
  8. That this approval is not for construction, but rather approval for the use of the land. Additional licensing and permitting will be required separately.

**INTRODUCED, READ AND APPROVED** at a regular meeting of the Planning and Zoning Commission of the Town of Silt, Colorado held on the 5th day of September, 2023.

ATTEST:

TOWN OF SILT

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Chair Lindsey Williams

---

Community Development Manager, Nicole Centeno

# **TOWN OF SILT PLANNING COMMISSION STAFF REPORT**

## **PUBLIC HEARING ACTION ITEM – ROOF PITCH VARIANCE**

Meeting Date: September 5, 2023

<b>Applicant:</b>	Andres Gonzales-Olivio & Rocio Mendoza-Gutierrez
<b>Request:</b>	Roof Pitch Variance
<b>Physical Address:</b>	396 Tobiano Lane
<b>Property Owner:</b>	Andres Gonzales-Olivio & Rocio Mendoza-Gutierrez
<b>Zone District:</b>	R-2
<b>Subdivision:</b>	Painted Pastures
<b>Proposed Zoning:</b>	No change is requested.
<b>Public Notice:</b>	Public Notice Satisfied
<b>Code Allowance:</b>	The Silt Municipal Code requires a minimum of a 4:12 roof pitch.

### **Applicant's Request**

The applicant has submitted a Single-Family Dwelling application for a home that is considered to be a modern architectural design, with a proposed roof pitch of 2:12. The Silt Municipal Code requires a minimum of a 4:12 roof pitch, making the proposal of a 2:12 roof pitch to be less of a pitch than the code requirements.

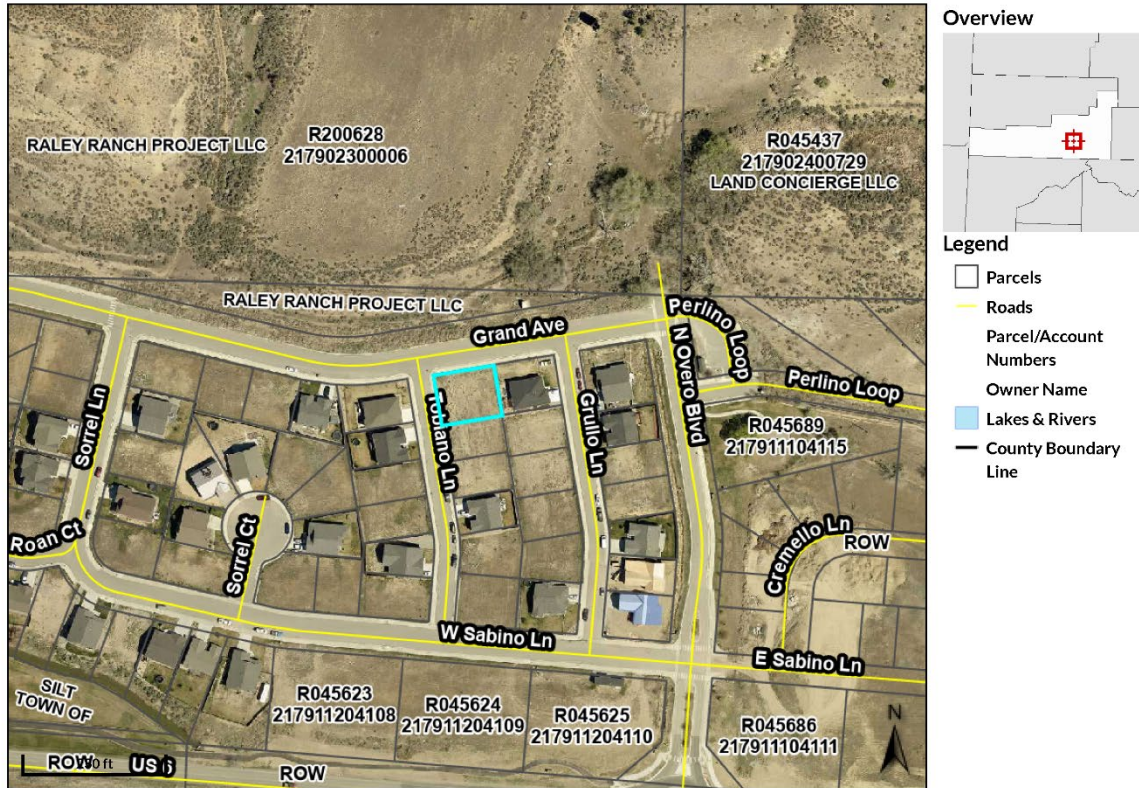
Given that changing the roof pitch would change the whole architectural design, in which the applicant is trying to achieve, they have opted to submitted the Land Use Application to request a variance, allowing for the 2:12 roof pitch.

### **Pertinent Silt Municipal Code Sections**

In Section 17.43.030.D.3 of the Silt Municipal Code, there is a minimum requirement of a 4:12 roof pitch.



## Vicinity Map:



Account Number	R045628	Physical Address	396 TOBIANO LN	2019 Total Actual Value	\$53,540	Last 2 Sales Date	9/30/2020	Price	\$68,000
Parcel Number	217911204050	Owner Address	SILT MENDOZA GUTIERREZ, ROCIO A & GONZALEZ OL	81652			6/19/2017		\$55,000
Acres	0		828 W 24TH STREET						
Land SqFt	7,500		RIFLE CO 81650						
Tax Area	035								
2019 Mill Levy	75.3100								

Date created: 8/29/2023  
Last Data Uploaded: 8/29/2023 10:32:42 PM

Developed by Schneider GEOSPATIAL

## **Staff Comments**

Town Staff spoke to both our Building Inspector and Painted Pastures HOA Management Company, regarding potential positive and negative impacts regarding this variance request.

The Building Inspector did not have any issues with the proposed roof pitch, but did state that he would ensure that the roof plans were constructed properly when he completed the plan review as well as during inspections at the time of construction.

Painted Pastures HOA Management Company did a full architectural design review and concluded that the 2:12 roof pitch would pass their review, only if the variance is approved by the Town, otherwise they will require the 4:12 to meet Town code.

The Planning and Zoning Commission is the final decision-making body for this variance application.

## **Planner Recommendations**

Staff recommends approval of the roof pitch variance request, with the following conditions:

- 1) That the proposed single-family dwelling meets the architectural point standards, per Silt Municipal Code Section 17.43.030.
- 2) That the applicant provides a final HOA approval for the roof pitch design
- 3) That all representations of the applicant made in writing, application materials and verbally at the Planning Commission or Trustee meetings or that are reflected in the meeting minutes are considered to be part of the application and are binding on the applicant.
- 4) That applicant will provide any additional requested documents and pay any remaining fees, prior to installation and inspection of the approved roof pitch.
- 5) That this approval is not for construction, but rather the exception of the roof pitch. Community Development will need to issue a permit before the installation or construction can occur.

**Recommended Motion: I move to approve the proposed roof pitch variance for 396 Tobiano Lane, with the conditions noted in the staff report and spoken during this Public Hearing.**



MARK NOEL - ARCHITECT, INC.

WWW.MNARCHITECT.COM

## **Gonzalez-Mendoza Residence**

July 13, 2023

Silt Planning and Zoning Commission

Silt, CO

c/o Nicole Centeno

Community Development Manager and Certified Youth Sports Administrator

(970) 876-2353 Ext. 110 (office)

[nicole@townofsilt.org](mailto:nicole@townofsilt.org)

**Name of Applicant:** Andres Gonzales-Olivio & Rocio Mendoza-Gutierrez

**Location of Property:** 396 Tobiano Lane, Silt, CO. 81652

**Land Use Request:** Reduce pitch of R2 zoned roof to 2:12.

We are not compatible with the Silt Municipal Code and would like to submit a variance request.

We do believe that we are compliant with the Silt Comprehensive Plan.

### **Summary:**

It is our goal to play an integral and positive role in Silt's growth and development. By including and incorporating mountain modern style/lower roof pitches, Silt receives a new look and feel, bringing forth a modern trajectory to the city. Since the municipal code we are using was dated in 2011, we believe that we have ample room to move into a more modern design of homes, similar to the surrounding cities like Glenwood Springs and Carbondale.

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### **Formal Request:**

We are submitting a request for variance for a new house to be located at 396 Tobiano Lane in the Painted Pastures neighborhood for Andres Gonzalez and Rocio Menendoza. We have created what we believe to be an aesthetically pleasing new modern home for our clients. In the initial phase of design, we explored several roof forms and shapes including a gable design and an opposed shed roof design to create a gable look. The design that the client selected was/is very similar to the final design that we have presented for approval/permit to the Silt Building Department. The design calls for two primary shed roof forms that oppose each other to create what is commonly referred to as a 'butterfly roof'. This composition has a central shed roof, higher than the other roofs which creates a central primary mass and balance. This allows for a prominent openness over the main area of circulation and corridor of the home. The roofs are pitched at what we believe to be a very appropriate 2:12 pitch. This maintains an acceptable building height for the context of the neighborhood and conforms to the new standards of modern home design.

The dark colored standing seam metal roofing material delivers a clean and functional aesthetic, while being understated. There are no aspects of this design that would provide a sub-level solution to the function, ability to shed water, or overall longevity of the proposed house/structure. It is also our opinion that the roof lines we have created play an optimal role for a future solar array, aiding in the state of Colorado's initiative to create more energy efficient homes.

### **17.43.030 - Exterior elevations.**

*"Roof pitch shall in no case be less than four vertical inches for each twelve horizontal inches (4:12), unless the structure is designed to have a flat roof(such as a southwestern style roof), as determined by the town administrator or his designee; and..."*

It is our position and observation that the current codes are 11 years old and are obsolete regarding the standards of roofing design for modern houses. I have included several pages of photographs of similar design where shed roofs are used ranging from 4:12 to 2:12 pitches for a more modern house. These, in our opinion, are the standard in design today and while not many houses with this design are as common in Rifle, Silt, and New Castle, they are quite common in Glenwood Springs and even more common as you move up the valley towards Aspen. This is not only true in the Roaring Fork Valley, but many examples can be seen in the Vail Valley and throughout the Denver Metro Area.

Per the Comprehensive plan, we believe we are adhering, if not enhancing, the goals for the future of Silt. See statements from the comprehensive plan below:

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***"The Town is supportive of re- development within this Comprehensive Plan Land Use Designation both on a small and large scale.*** Since this area is clearly within the Town's core of development, the Town could well benefit from increases in density, because the necessary infrastructure is in place." ... "The intent of the Land Use and Growth of the Town element is to guide future development while allowing flexibility for land owners and developers, to accommodate long-term growth without imposing huge burdens on existing residents, and to shape growth in a way ***that maintains and enhances Silt's unique identity.*** They would like to promote infill and redevelopment as the first priority for future growth while taking measures to accommodate new residents and businesses in a planned manner without sacrificing current levels of service and infrastructure. In order to achieve the citizens' goals of growing in a compact manner, ***ensuring development does not place an undue burden on current residents ...***  
-Page 12

There have never been any landfills on any part of the property included in our request.

We have zero concerns or impacts to:

Traffic

Town Services

Signage

Open Space

Schools

Emergency Services

Other utilities

Other (pollution, etc.)

We hope that you will agree with our position and will grant this variance.

Respectfully Submitted by,

Mark Noel

Mark Noel – Architect, Inc.

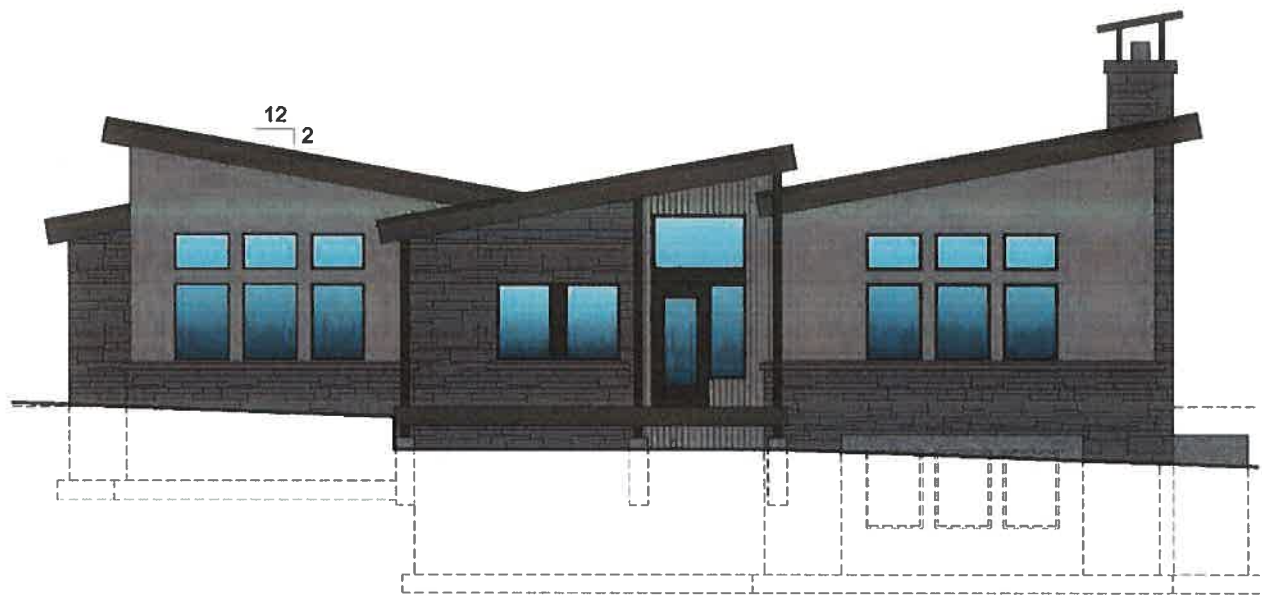
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396 Tobiano Ln, Silt CO 81652



Early Concept Front Elevation



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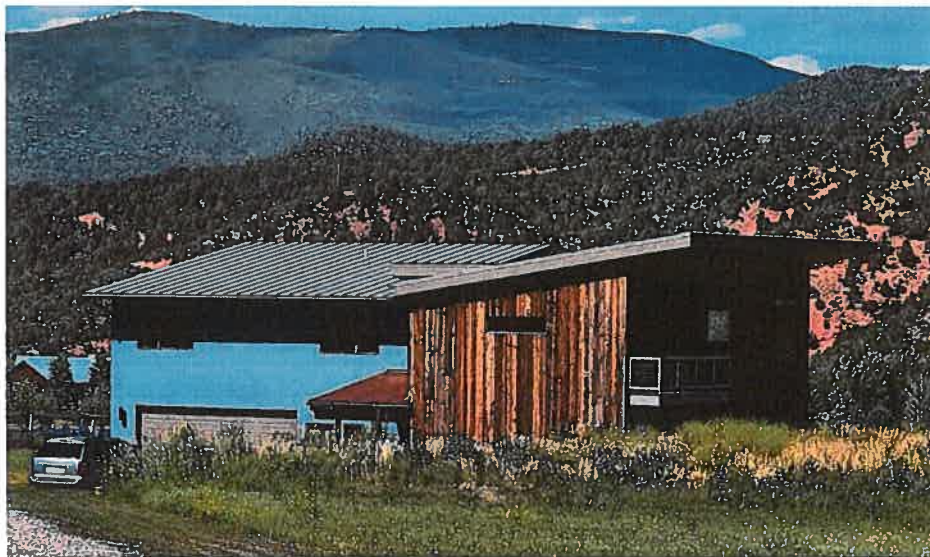
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Colored Front Elevation – Approved HOA submittal



Public Building with Shed roof (below 4:12 pitch)



House - Example 001

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House - Example 002



House - Example 003

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House – Example 004



House – Example 005

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# Town of Silt Community Development

231 N. 7<sup>th</sup> Street, Silt Colorado 81652; (970)876-2353 ext. 108



## Land Use Application Form

<input type="checkbox"/> Amended Plat	<input type="checkbox"/> Boundary Adjustment	<input type="checkbox"/> Subdivision Exemption
<input type="checkbox"/> Annexation	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Floodplain Development
<input type="checkbox"/> Final Plan	<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Vacation of Right-of-Way
<input type="checkbox"/> Text Amendment	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Re-Subdivision Final Plan
<input type="checkbox"/> Easement Agreement	<input type="checkbox"/> Zoning or Rezoning	<input type="checkbox"/> Subdivision Improvement Agreement
<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Annexation & Development Agreement
<input checked="" type="checkbox"/> Zoning Variance	<input type="checkbox"/> Other: _____	

**Project Name:** Gonzalez-Mendoza Residence

**Project Description / Property Information:**

Address: 396 Tobiano Ln , Silt, CO 81652 Parcel ID Number: 217911204050

Legal Description (*attach additional sheets if necessary*): \_\_\_\_\_

Section: 11 Township: 6 Range: 92 Subdivision: PAINTED PASTURE SUB-DIV Lot: 50 (7500 SF+-)

Access to Property: Street Cut

Acreage or Square Footage: .172 Acres Existing Land Use Designation: R2

Proposed Land Use Designation: R2

Existing Zoning: \_\_\_\_\_ Proposed Zoning: \_\_\_\_\_

Proposed Use / Intensity of Use: Variance - Roof pitch lower than 4/12 - Requesting 2/12 pitch

**Submittal Requirements:**

- Initially, a completed application with original signatures and four copies shall be submitted to the department for review. The application shall include four sets of 24" x 36" plans, plats and other appropriate drawings. Application must also be submitted in electronic format (MS Word).
- In addition to this application, all information on the supplemental checklist must be submitted.
- Incomplete applications will not be accepted and will delay processing.
- When the documents are deemed adequate, additional copies as required by the department shall be submitted ten (10) days before the public hearing.
- All documents submitted for public hearing shall be hole-punched, collated and paper-clipped (no staples). All plans, plats or drawings shall be folded to 8 1/2" x 11" and inserted into the collated application. Each individual application shall be banded together and ready for public distribution.

**STAFF USE ONLY**

Pre-app conference: \_\_\_\_\_ (date)

Application complete: July 17, 2023 (date)

Fees: \$ 250

Deposits: \$ 250

Paid: \$ 500 (date)

Application received: July 17, 2023 (date)

File Number: \_\_\_\_\_

Referrals Sent: \_\_\_\_\_ (date)

PZC approval: \_\_\_\_\_ (date)

BOT approval: \_\_\_\_\_ (date)

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**Project Team Information** (fill in all that apply) (add additional sheets if needed):

**Property Owner(s):** Name: Andres Gonzales-Olivio & Rocio Mendoza-Gutierrez Phone: (970) 456-7890

Company: \_\_\_\_\_ Fax: \_\_\_\_\_

Address: 828 W. 24th St, Rifle, CO 81650

**Authorized Rep.:** Name: Mark Noel Phone: (970) 379-3778

Company: Mark Noel - Architect, Inc. Fax: \_\_\_\_\_

Address: 189 Aspen Way, Glenwood Springs, CO 81601

**Engineer/Designer:** Name: Trevor Choate, PE Phone: (970) 585-4540

Company: Ponderosa Engineering Fax: \_\_\_\_\_

Address: 135 County Center Dr. STE F #52, Pagosa Springs, CO 81147

**Billable Party:** Owner ☒ Representative ☒ Engineer \_\_\_\_\_

The Billable Party, by signing below, hereby agrees to reimburse the Town the actual costs to the Town plus 15% administrative fees for all engineering, surveying and legal services rendered in connection with the review of the Application. The Billable Party shall also reimburse the Town for the cost of making any corrections or additions to the master copy of the official Town map and for any fees for recording any plats and accompanying documents with the County Clerk and Recorder of Garfield County. The Billable Party agrees that interest shall be imposed at a rate of 1.5% per month on all balances not paid within thirty (30) days of the date of the statement. In addition to any and all remedies available to the Town and in the event the Town is forced to pursue collection of any amounts due and unpaid, the Town shall be entitled to collect attorney's fees and costs incurred in said collection efforts in addition to the amount due and unpaid.

Mark Noel Rocio Mendoza-Gutierrez § Mark Noel - Architect, Inc

Name (printed)

189 Aspen Way, Glenwood Springs, CO 81601 - 828 W 24th St, Rifle, CO 81650

Address

(970) 379-3778 (970) 456-9835

Phone

Fax

Rocio Mendoza Gutierrez

Signature

\_\_\_\_\_

Type of Identification

**Disclosure of Property Ownership**

\_\_\_\_\_ If owner is an individual, indicate name exactly as it appears on the deed.

\_\_\_\_\_ If owner is a corporation, partnership, limited partnership or other business entity, name principals on a separate page. Please include articles of organization, partnership agreement, etc., as applicable.

\_\_\_\_\_ If owner is a land trust, name beneficiaries on a separate page.

\_\_\_\_\_ If applicant is a lessee, indicate the owner(s) on a separate page.

\_\_\_\_\_ If applicant is a contract purchaser, attach a copy of the contract and indicate the owner(s) on a separate page.

*Please provide the name(s), mailing address(es), street address(es) and phone number(s) for all owners.*

Property Owner Affidavit

I/We, Andres Gonzales-Olivio & Rocio Mendoza-Gutierrez, being first duly sworn, depose and state under penalties of perjury that I am (we are) the owner(s) of the property described herein and which is the subject of the application and proposed hearings; that all answers provided to the questions in this application, and all sketches, data and all other supplementary matter attached hereto and made part of this application are honest and true to the best of my (our) knowledge and belief. I (we) understand that this application must be complete and accurate prior to a hearing being scheduled. I (we) authorize Town staff to visit the site as necessary for proper review of this application.

(If there are special conditions such as guard dogs, locked gates, restricted hours, etc., please give the name and phone number of the person(s) who can provide access to the site)

Andres Gonzalez - Olivio

Name (printed)

Rocio Mendoza-Gutierrez

Name (printed)

828 W. 24th St, Rifle, CO 81650

Address

828 W. 24th St, Rifle, CO 81650

Address

(970) 456-7890

Phone

(970) 456-7890

Phone

Fax

Andres Gonzalez  
Signature

Fax

Rocio Mendoza Gutierrez  
Signature

Type of Identification

County of Garfield )

State of Colorado )

ss.

Sworn to and subscribed before me this 17<sup>th</sup> day of July, 2023  
(fill in day) (fill in month) (fill in year)

By Andres Gonzalez and Rocio Mendoza Gutierrez  
(name printed)

Witness my hand and official seal.

Madyson Lynn Plantz  
Notary Public

(seal)

My Commission expires: 04/18/2027

MADYSON LYNN PLANTZ  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 20234014778  
COMMISSION EXPIRES 04/18/2027

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Authorized Representative

I/We further permit Mark Noel, Mark Noel - Architect, Inc. to act as my/our representative in any manner regarding this application, to answer any questions and to represent me/us at any meeting(s) and public hearing(s) which may be held on this application.

NOTE: All correspondence will be sent to the authorized representative. It will be the representative's responsibility to keep the owner(s) adequately informed as to the status of the application.

Andres Gonzalez - Olivio & Rocio Mendoza - Gutierrez

Name (printed)

828 W. 24th St.

Rifle, CO 81650

Address

(970) 456 -7890

Phone

Fax

Andres Gonzalez Rocio Mendoza Gutierrez

Signature

Type of Identification

County of Garfield )

State of Colorado )

ss.

Sworn to and subscribed before me this 17<sup>th</sup> day of July, 2023.  
(fill in day) (fill in month) (fill in year)

By Andres Gonzalez and Rocio Mendoza Gutierrez  
(name printed)

Witness my hand and official seal.

Madyson Lynn Plantz

Notary Public

My Commission expires: 04/18/2027



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## LAND USE APPLICATION FEES

Application	Fee	Deposit	SMC Section
Annexation	\$1,200	\$400	16.13.040
Annexation & Development Agreement amendment	\$400	\$400	16.13.130
Boundary Adjustment/Lot Line	\$100	\$0	16.04.907
Condominiumization	See Major	Subdivision	16.05.110
Easement Agreement and Amendments	\$500	\$500	2.44.110
Intergovernmental Agreement and Amendments	\$500	\$500	2.44.100
Major Subdivision-Sketch Plan	\$500	\$500	16.04.120
Major Subdivision-Preliminary Plan	\$800	\$800	16.04.180
Major Subdivision-Final Plan	\$500	\$500	16.04.270
Sign Exception	\$70	\$0	
Fence Exception	\$70	\$0	
Replat or Re-subdivision	\$500	\$0	16.04.945
Site Plan Review- Commercial/Multi-Family	\$500	\$0	17.42.030
Special Use Permit	\$250	\$0	17.78.040
Minor Subdivision-Sketch/Final	\$500	\$500	16.04.906
Subdivision Improvement Agreement Amendment	\$400	\$400	16.04.315
Vacation of Right of Way	\$400	\$400	2.44.120
Zoning Variance	\$250	\$250	17.84.080
Zoning or Rezoning	\$500	\$100	16.12.410

*\*Deposits must be included with application submittal. The deposit is used as security for department staff and consultant time to review the project application. Applicant shall also pay for fees and charges incurred by the town, such as legal fees, planning fees, engineering fees, and filing or recording fees, plus an administrative fee of 15% of the total consultant charges.*

### ATTACHMENTS/EXHIBITS MUST BE COMPLETE FOR SUBMITTAL.

Incomplete applications **will not** be reviewed until deemed complete.

### Checklist below for Office use only.

- 1] ☐ A legal description of the property.
- 2] ☐ Evidence of legal ownership. May be a deed, title commitment, title insurance policy, or attorney's opinion of ownership.
- 3] ☐ Letter of consent. Required if the Applicant is not the property owner.
- 4] ☐ List of property owners within 200 feet. Call Garfield County Assessor's Office at 970/ 945-9134 for information.
- 5] ☐ Impact statement (description of how the proposed land use complies with the Town of Silt Municipal Code and Comprehensive Plan).
- 6] ☐ A copy of the completed application in electronic format (Microsoft Word).
- 7] ☐ A diskette, compatible with the Town of Silt GIS system, must be submitted before final recording of land use action. Mylars will not be signed prior to submittal of GIS disk. (For GIS information, call the Community Development Department, (970)876-2353.) Please do not print Final Plat Mylars until you receive approval by Town staff.

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# The Title Company of the Rockies

111 E. 3rd Street  
Floor 1, Suite 101  
Rifle, CO 81650

PHONE: 970-625-5426

FAX: 844-269-2759

## PURCHASERS SETTLEMENT STATEMENT

CASE NO.: 1203424

DATE OF PRORATION: September 30, 2020

SETTLEMENT DATE: September 30, 2020

PROPERTY ADDRESS: 396 Tobiano Lane, Silt, CO 81652

SELLER: Raley Ranch Project, LLC a Colorado  
limited liability company

PURCHASER: Rocio A. Mendoza-Gutierrez and Andres  
Gonzalez-Olivo

LEGAL DESCRIPTION: Lot 50, Painted Pastures Subdivision, Garfield County, Colorado

DESCRIPTION	DEBIT	CREDIT
Deposit		\$2,000.00
County Property Taxes 1/1/2020 thru 9/29/2020		\$235.56
Sale Price of Property	\$68,000.00	
Title - RQ Tax Certificate Amt to Title Company of the Rockies	\$25.00	
Closing Fee to Title Company of the Rockies	\$125.00	
E-Recording Fee to Title Company of the Rockies	\$5.00	
Recording Fee (Deed) to Title Company of the Rockies	\$18.00	
State tax/stamps to Title Company of the Rockies	\$6.80	
HOA Dues 9/30/2020 thru 12/31/2020	\$15.25	
Sub-totals	\$68,195.05	\$2,235.56
Due From Purchaser		\$65,959.49
TOTALS	\$68,195.05	\$68,195.05

### APPROVED AND ACCEPTED

Sales or use taxes on personal property not included THE TITLE COMPANY OF THE ROCKIES assumes no responsibility for the adjustment of special taxes or assessments unless they are shown on the Treasurer's Certificate of Taxes Due. The condition of title to the property is to be determined by reference to the title evidence provided by Seller or by personal investigation. The above statement of settlement is approved as of the settlement date shown above and Escrow Holder is hereby authorized to disburse as Trustee funds as indicated.

Purchaser

Rocio A. Mendoza Gutierrez  
Rocio A. Mendoza-Gutierrez

Andres Gonzalez-Olivo  
Andres Gonzalez-Olivo

Broker/Agent

Shannon B. Kyle

Closing Agent

The Title Company of the Rockies

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List of Properties within 200ft of 396 Tob

ParcelId	OwnerName	OwnerAddress1
✓ R045619	JURADO, GERARDO JR	104 MABLE LANE
✓ R045631	GALLARDO FLORES, VICTOR EDUARDO & JUAREZ	286 TOBIANO LANE
✓ R045643	CARDOSO, JORGE LUIS MADRIGAL & MENDOZA L	150 PAULARINO AVENUE, BUILDING
✓ R045620	DAVID RIPPY CONSTRUCTION INC	3950 MIDLAND AVENUE, SUITE F2
✓ R045630	ALDER RIDGE LLC	119 E VISTA DRIVE
✓ R045637	MERAZ MANCINAS, EDUARDO & MANCINAS, LISB	6 MAROON DRIVE
✓ R045642	WOOD WERX CONSTRUCTION LLC	125 CENTER DRIVE #11
✓ R045621	RICO, SALVADOR	347 TOBIANO LANE
✓ R045629	ALDER RIDGE LLC	119 E VISTA DRIVE
✓ R045638	MERAZ, LEONEL & MANCINAS, LIZBETH	6 MAROON DRIVE
✓ R045641	GARCIA, JERRIE	358 GRULLO LANE
✓ R045628	MENDOZA GUTIERREZ, ROCIO A & GONZALEZ OL	828 W 24TH STREET
✓ R045639	COLLINS, JANET KRISTINE & FRANK WILSON	399 GRULLO LANE
✓ R045640	KETELSLEGER, LISA MAE	398 GRULLO LANE
✓ R200628	RALEY RANCH PROJECT LLC	150 PAULARINO AVENUE, BUILDING
✓ R045635	SALVIDREZ, MIGUEL ANGEL & ROJO, MIGUEL	274 CEDAR WAY
✓ R045618	PENA GUTIERREZ, CINDY JANETTE	247 TOBIANO LANE
✓ R045632	SALVIDREZ, MIGUEL ANGEL	274 CEDAR WAY
✓ R045614	TAYLOR, JOHN R & KATIE J	234 SORREL COURT
✓ R045636	MERAZ MANCINAS, YARELIE & MERAZ, LEONEL	6 MAROON DRIVE
✓ R045613	MONTES TELLO, GENARO	274 SORREL COURT
R045612	NEW BEGINNINGS NEW HOMES LLC	536 31 1/2 ROAD
✓ R045600	HERRERA, ADAM	2261 GRAND AVENUE
✓ R045622	PIDCOCK, JASON M & DAWN M	387 TOBIANO LANE
✓ R045626	RALEY RANCH PROJECT LLC	150 PAULARINO AVENUE, BUILDING

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ms services corp  
274 cedar way  
New Castle CO 81647

Lawrence's Grace macdonald  
294 Sorrel Court  
Silt CO 81652







**TOWN OF SILT  
RESOLUTION NO. PZ- 5  
SERIES OF 2023**

**A RESOLUTION APPROVING OF THE TOWN OF SILT, COLORADO,  
TO ALLOW FOR WITHIN THE TOWN OF SILT, GARFIELD COUNTY, STATE  
OF COLORADO**

**WHEREAS**, Andres Gonzales-Olivio and Rocio Mendoza-Gutierrez submitted an application for a variance ("Application") on or about July 17, 2023 requesting that they be approved for a 2:12 roof pitch; and

**WHEREAS**, Town Staff processed the application and forwarded the application as well as staff comments about the application and various memoranda to the Town Planning and Zoning Commission ("Commission"); and

**WHEREAS**, the commission reviewed and discussed the application at its regular meeting on September 5, 2023; and

**WHEREAS**, upon proper consideration there is a finding that it is reasonable to approve the proposed variance, as it doesn't appear to have any significant negative impact to adjacent properties and is appropriate for the modern designed house that is being built.

**NOW, THEREFORE BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SILT, COLORADO, THAT:** the roof pitch variance for 396 Tobiano Lane within the Town of Silt, Colorado ("Town") subject to the following conditions:

1. That the proposed single-family dwelling meets the architectural point standards, per Silt Municipal Code Section 17.43.030.
2. That the applicant provides a final HOA approval for the roof pitch design
3. That all representations of the applicant made in writing, application materials and verbally at the Planning Commission or Trustee meetings or that are reflected in the meeting minutes are considered to be part of the application and are binding on the applicant.
4. That applicant will provide any additional requested documents and pay any remaining fees, prior to installation and inspection of the approved roof pitch.
5. That this approval is not for construction, but rather the exception of the roof pitch. Community Development will need to issue a permit before the installation or construction can occur.

**INTRODUCED, READ AND APPROVED** at a regular meeting of the Planning and Zoning Commission of the Town of Silt, Colorado held on the 5th day of September, 2023.

ATTEST:

TOWN OF SILT

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Chair Lindsey Williams

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Community Development Manager, Nicole Centeno